



TOWN OF KILLINGLY

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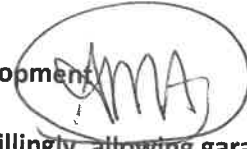
PLANNING & DEVELOPMENT OFFICE

172 Main Street, Killingly, CT 06239
Tel: 860-779-5311 Fax: 860-779-5381

Elizabeth M. Wilson

MEMORANDUM

TO: Elizabeth Wilson, Killingly Town Clerk
FROM: Ann-Marie L. Aubrey, Director of Planning and Development
DATE: Wednesday, May 25, 2022
SUBJECT: Zone TEXT Change Application #22-1292 – Town of Killingly, allowing garages as a primary use in rural development and low-density zones only.



Following Connecticut General Statutes Section 8-3(d) the Killingly Planning and Zoning Commission lets you know that the Commission has **approved – Zone TEXT Change Application #22-1292 – Town of Killingly, allowing garages as a primary use in rural development and low-density zones only.**

A complete copy of the zone TEXT change is attached hereto and incorporated herein for your convenience.

Following CT General Laws, the decision legal notice of the approval was published in the Friday, April 22, 2022, edition of the Norwich Bulletin.

Following CT General Laws, the decision legal notice was published in the Friday, May 20, 2022, edition of the Norwich Bulletin. Following said laws, a fifteen (15) day appeal period commenced on that date. The appeal period will end at the end of the business day on Monday, June 6, 2022. Provided no appeal is taken; **the approved TEXT change becomes effective on Monday, June 13, 2022, at 12:01 am.** If appealed, and there is a positive finding of the court in favor of the Town of Killingly (i.e., the court upholds the zone TEXT change), the zone TEXT change will become effective immediately upon the publication of the court's decision.

Any inquiries or questions about the zone TEXT change can be directed to my attention at 860-779-5311. Thank you for your consideration.

cc: Mary T. Calorio, Town Manager (email)	Jill St. Clair, Dir. Economic Dev. (email)
Jonathan Blake, Planner 1 (email)	Allison Brady, Assistant Planner (email)
Tracy Bragg, Building Official (email)	Randy Burchard, Fire Marshal (email)
Paul Gazzola, Building Asst. (email)	William Skene, Asst. Fire Marshal (email)
Diane Guertin, Adm. Secretary (email)	Tammy LaPlante, Adm. Secretary (email)
David Capacchione, Town Engineer (email)	Gary Martin, Asst. Town Engineer (email)
Alec Ethier, Engineering Tech. (email)	Kenneth Slater, Attorney (email)

NOTE: PLEASE KEEP THIS MEMORANDUM POSTED UNTIL TUESDAY, JUNE 14, 2022.

STAND ALONE GARAGES

NOTE: to be added to Rural Development and Low-Density Zones Only.

Stand Alone Garage for Personal Storage:

- 1) A site-plan review application is required, as well as a zoning permit and building permit.
- 2) The structure is to be used by the property owner only for their personal use.
- 3) The total square footage of the structure shall not exceed 1,200 square feet.
- 4) The structure must meet all the set-back requirements of the underlying zone.
- 5) Storage and display of any materials shall not be permitted on the premises outside of the structure.
- 6) Such structure shall not change the residential character of the neighborhood in any visibly manner.
- 7) The use of such structure shall not create objectionable noise, smoke, odor, toxic fumes, waste products, vibration or unsightly conditions that would set the structure apart in its surroundings or degrade residential property in the neighborhood.
- 8) The use of said structure shall not cause traffic to or from said structure in greater volumes than would normally be expected in a residential neighborhood.