

- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
 - Survey Type: Improvement Location Survey.
 - Boundary Determination Category: dependent Resurvey.
 - Zone = ALZOD.
 - Owner of record: James A. Morey & Alma D. Morey
250 Church St., Putnam, CT 06260
See Volume 735, Page 342
 - Parcel is shown as Lot #62.001 on Assessors Map #82.
 - Elevations shown are based on NAVD88. Contours shown are taken from actual field survey. Contour interval = 1'.
 - Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map #090136 Panel 0014B Effective Date: January 3, 1985.
 - Before any construction is to commence, contractor shall contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

- MAP REFERENCES:**
- "Alexander's Lake - Lease Tract Map - Prepared by: Town of Killingly Planning & Zoning Department - Scale: 1" = 200' Date: April 15, 1992." On file in the Killingly Land Records as Map #HF 178A.
 - "General Location Survey - Plot Plan - Prepared for - Len Zadora - 76 Island Road - Dayville, Connecticut - Alexander's Lake - Scale: 1" = 20' - Date: Dec. 2009 - Sheet No. 1 Prepared by: Archer Surveying, LLC." On file in the Killingly Land Records as Map #6482.

DATE	DESCRIPTION
07/31/2023	ELEVATION DATUM CHANGED TO NAVD88
04/27/2023	REVISED HIGH WATER LINE
03/15/2023	PER CLIENT & CONTRACTOR
12/27/2022	REVISED SANITARY CONNECTION
REVISIONS	

**IMPROVEMENT LOCATION SURVEY
DEMOLITION PLAN**
PREPARED FOR
**JAMES A. MOREY &
ALMA D. MOREY**
77 ISLAND ROAD
"ALEXANDER'S LAKE"
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 11/29/2022	DRAWN: AMR
SCALE: 1" = 10'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 20114

- LEGEND**
- F.F. FINISHED FLOOR
 - IRON PIN FOUND
 - ⊗ UTILITY POLE
 - MH MANHOLE
 - BUILDING SETBACK LINE
 - OHW OVERHEAD WIRES
 - SILT FENCE

APPROVED BY THE TOWN OF
KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN _____ DATE _____



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Greg A. Glaude
8/02/2023

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

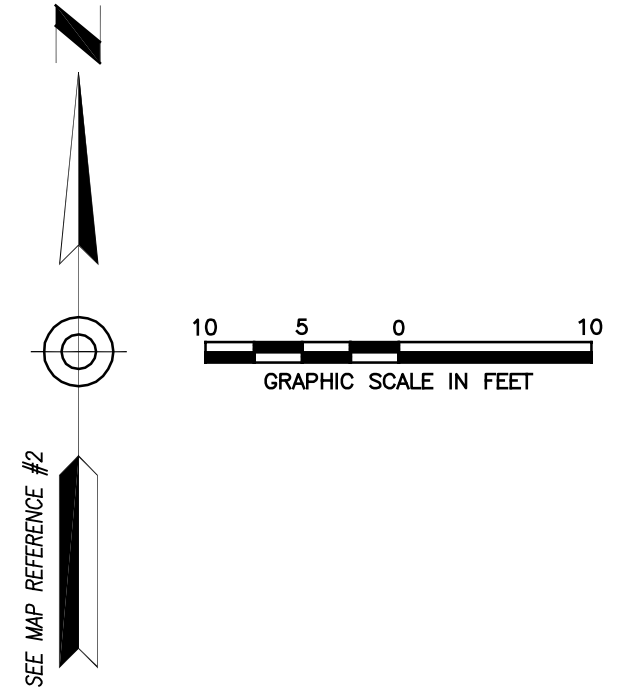
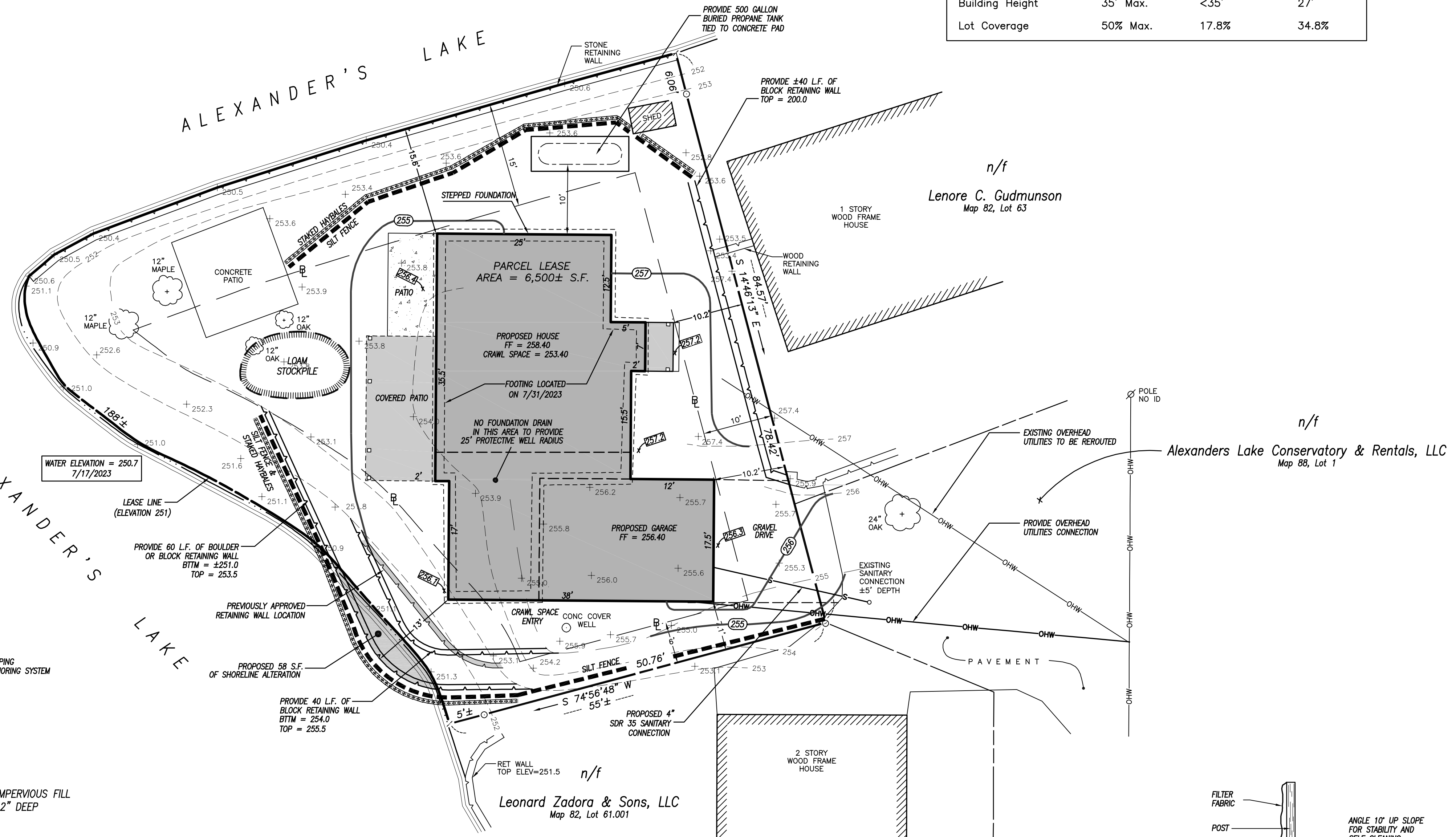
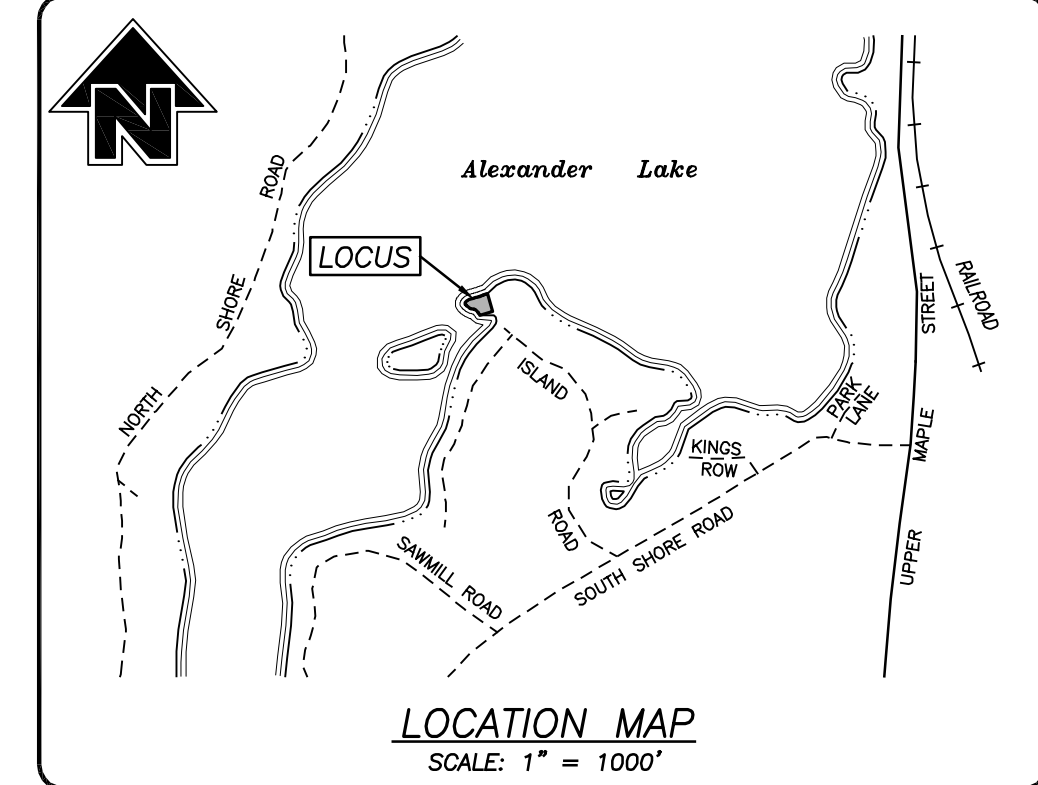
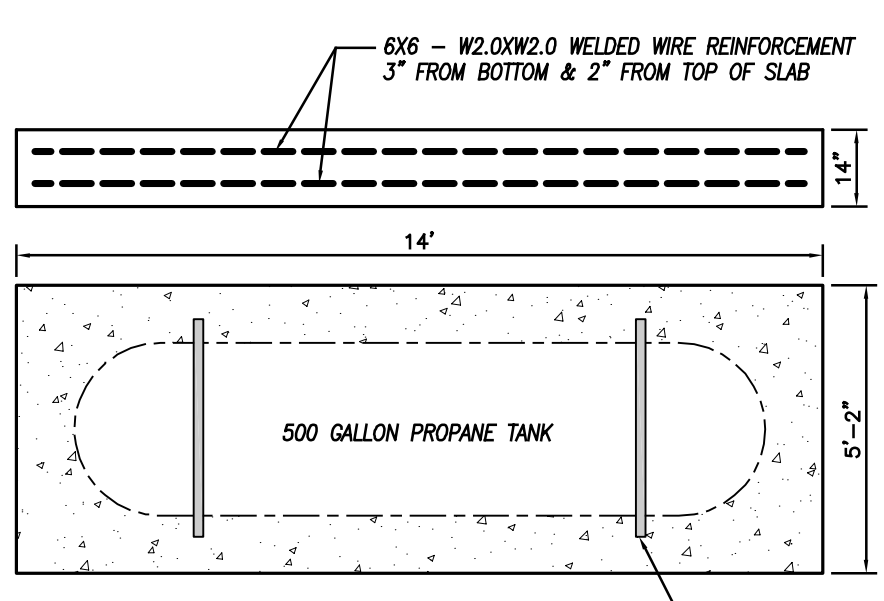


TABLE OF ZONING REQUIREMENTS			
ZONE = ALZOD			
	REQUIRED	EXISTING	PROPOSED
Lot Area	N/A	6,500 S.F.	6,500 S.F.
Front Yard Setback	10'	2.2'	10.2'
Side Yard Setback	6'	35.3'	7.1'
Rear Yard Setback	15'	12.4'	15'
Building Height	35' Max.	<35'	27'
Lot Coverage	50% Max.	17.8%	34.8%

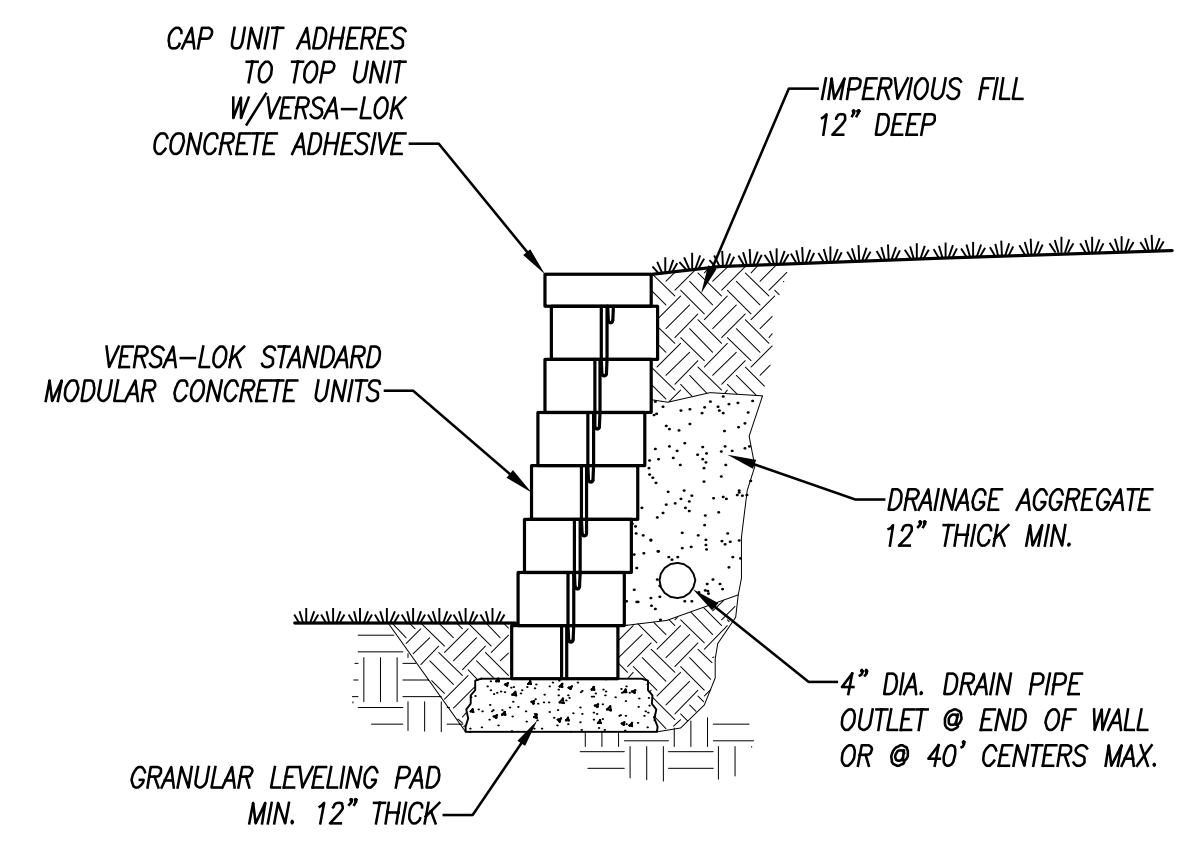


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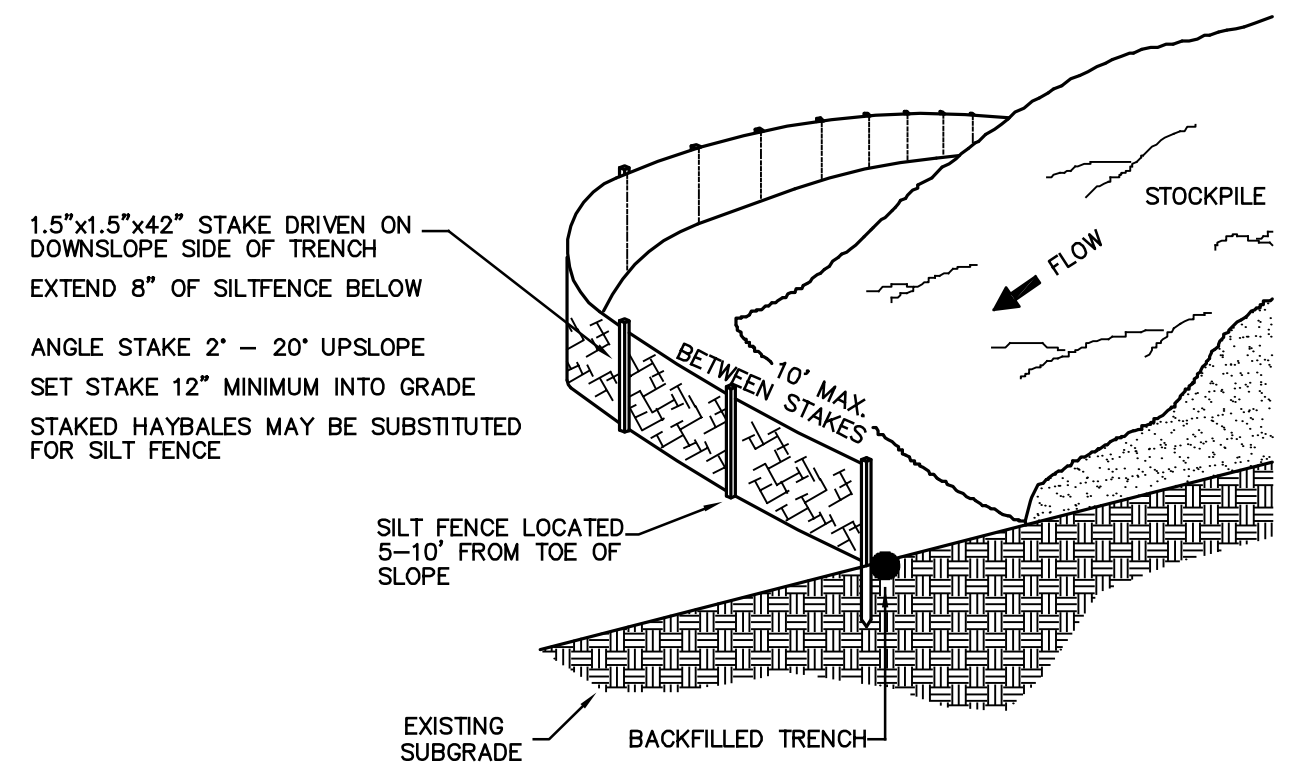
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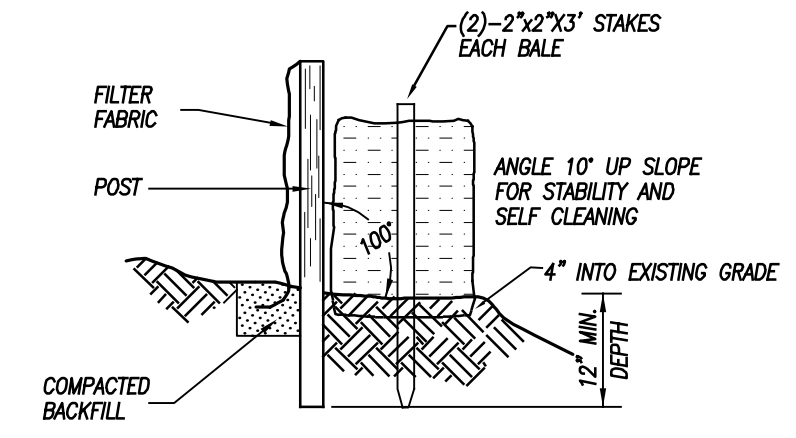
PROPANE TANK TIE-DOWN
NOT TO SCALE



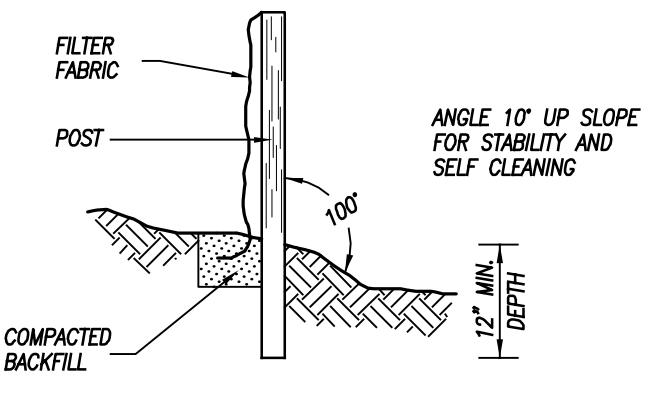
TYPICAL SECTION-UNREINFORCED RETAINING WALL
NOTE: 3' MAXIMUM HEIGHT



SILT FENCE @ TOE OF SLOPE APPLICATION
NOT TO SCALE



SILT FENCE - BACKED WITH HAYBALES
NOT TO SCALE



SILT FENCE
NOT TO SCALE

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SITE PLAN**
PREPARED FOR
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SHEET: 2 OF 2	CHK BY: GG
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K:\20114\Drawings\02-20114 SITE PLAN option 1.dwg Aug 03, 2023 - 1:28 PM

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Normand Thibault, Jr. 01/2/2023
NORMAND THIBAUT, JR., P.E. / No. 22834 DATE

STATE OF CONNECTICUT
JAMES A. GLAUDE, L.S.
No. 70191
LIC. NO. 70191 DATE 01/2/2023

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