



**TOWN OF KILLINGLY
INLAND WETLANDS AND WATERCOURSES COMMISSION**

Monday, November 6, 2023

Regular Meeting – Hybrid

7:00 PM

Second Floor – Town Meeting Room

Killingly Town Hall

172 Main Street

Killingly, CT

AGENDA

The public can also view this meeting on Facebook Live.

Go to www.killinglyct.gov and click on Facebook Live at the bottom of the page.

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **ADOPTION OF MINUTES – (Review/Discussion/Action)**
 - A. October 2, 2023, Regular Meeting
- IV. **CITIZENS' PARTICIPATION** – Public comment can be emailed to publiccomment@killinglyct.gov or mailed to Town of Killingly, 172 Main Street, Killingly, CT 06239 on or before the meeting. All public comment received prior to the meeting will be posted on the Town's website www.killinglyct.gov.
- V. **Unfinished Business: – (Review/Discussion/Action)**
 - A. **Application 23-1574 of Pasay Development LLC** for a three-lot subdivision with the construction of three single-family homes with driveways, wells and septs within the 200' upland review area; 325 Snake Meadow Rd; Map ID 60, Alt ID 254-6, Rural Development Zone.
 - B. **Application 23-1576 of Margaret and Kevin Johnston** for the demolition and reconstruction of a single-family residence with driveway, existing well and public sewer within the 200' upland review; 2 South Shore Road; Map ID 3721, Alt ID 87-37, ALZOD / Rural Development Zone.
- V. **New Business: (listed in order of receipt) – (Review/Discussion/Action)**

If the application is complete the Commission shall decide if a public hearing and/or site walk should be held on each application and continue further action until next month's meeting. The Commission may also delegate to its duly authorized agent.

 - A. **Application 23-1577 of Gavin Sheehan** for the construction of a single-family home with driveway (wetland crossing), well and septic within the 200' upland review area; 350 Breakneck Hill Road; Map ID 3327, Alt ID 65-6, Rural Development Zone.
- VI. **Correspondence to the Commission**
- VII. **Staff Report**
 - A. Authorized Agent Applications

2023 NOV -2 PM 3:00
Killingly, CT

B. Monthly Zoning/Wetlands Report

1. **Application 23-1560 of Kurt & Kristopher Meyer** Cease & Desist Order; 64 & 80 Mashentuck Road; Map ID 3684 & 3683, Alt ID 183-13 & 183-13.1, Rural Development Zone – Update

IX. Town Council Liaison

X. Adjournment

TOWN OF KILLINGLY
INLAND WETLANDS AND WATERCOURSES COMMISSION (IWWC)
Killingly Town Hall
172 Main Street
Killingly CT
MINUTES

Regular Meeting
Monday, October 2, 2023 – 7:00 pm

I. Call to Order: Chairperson Eggers called the meeting to order at 7:09 p.m.

II. Roll Call:

Members Present: Paul Archer, Vice Chairman Rodney Galton, Secretary Corina Torrey
Member Absent: Chairman Sandy Eggers, Chris McDonald (both with notification)
Also Present: Jonathan Blake, Town Planner/Zoning Enforcement Officer
Allison Brady Assistant Planner / Resource Officer

III. Adoption of Minutes:

MOTION 1 made by Paul Archer **SECONDED BY** Corina Torrey that the Inland Wetlands and Watercourses Commission approve September 11, 2023 Regular Meeting and September 25, 2023 Special Meeting Minutes – as presented

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

IV. Citizens' Participation: none

V. Unfinished Business:

A. Application #23-1572, Brett & Paige Bissonnette for construction of single-family home, driveway, well and septic within 200' of upland review area; 101 Mason Hill Road; Map ID 10016, Alt ID 52-5.1, Rural Development Zone

APPLICANT / PRESENTATION: Normand Thibeault, Killingly Engineering Associates was present to represent the applicant.

Clogged Drainage Pipe: There is a small wetlands pocket located near a clogged metal 15" corrugated drainage pipe at Mason Hill Road. Mr. Thibeault discussed this issue with Town Staff and Town Engineer David Capacchione – specifically regarding entrance and discharge points. It was determined applicant will clear pipe from entrance side and install rip-rap to prevent future clogging while the Town Department of Public Utilities will clear discharge area.

Septic System: Design calls for best placement of system due to significant amounts of ledge in area at back of property.

E&S Controls: Controls to be installed at limits of clearing. No other wetlands impact.

MOTION 2 made by Paul Archer **SECONDED BY** Corina Torrey that the Inland Wetland and Watercourses Commission approve **Application #23-1572, Brett & Paige Bissonnette** for construction of single-family home, driveway, well and septic within 200' of upland review area; 101 Mason Hill Road; Map ID 10016, Alt ID 52-5.1, Rural Development Zone – as presented

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

B. Application #22-1573, Edward & Lynn Martins, construction of single-family home, driveway, well and septic within 200' upland review area; 34 North Frontage Road; Map ID 7583, Alt ID 222-5.1, Rural Development Zone

APPLICANT / PRESENTATION: Normand Thibeault, Killingly Engineering Associates was present to represent the applicant.

Septic System: Overall footprint is large. Small portion of system is within 100 feet of wetlands. NDDH approved mantis system to keep it smaller due to property layout and to implement high impact mitigation strategies using minimal resources.

TOWN STAFF: Dave Capacchione asked for a 16 foot wide driveway design because it is a shared driveway. Mr. Thibeault noted approval for proposed driveway was received 20 years ago and is actively approved today.

IWWC COMMENTS: There is concern widening shared access driveway to 16 feet would present considerable impact. It was recommended driveway design width remain as designed while installing widening portions in resource areas on each side due to less of an impact.

MOTION 3 made by Paul Archer **SECONDED BY** Corina Torrey that the Inland Wetland and Watercourses Commission approve **Application #23-1573, Edward & Lynn Martins** for construction of a single-family home, driveway, well and septic within 200' of upland review area; 34 North Frontage Rd; Map ID 7583, Alt ID 222-5.1, Rural Development Zone - with Conditions:

1. NDDH approval letter be submitted to Town Staff
2. Shared driveway passing lane specifications be approved by Town Staff

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

VI. New Business:

A. Application #23-1574, Passay Development LLC:

APPLICANT / PRESENTATION: Paul Terwilliger, PC Survey Associates, was present to represent the applicant. One of the lots contains an existing house that will be demolished.

Driveway: Design calls for shared access driveway to service two of the three lots. Driveway crosses a brook.

Septic System: No septic is proposed within 100 feet.

MOTION 4 made by Paul Archer **SECONDED BY** Corina Torrey that the Inland Wetland and Watercourses Commission receive **Application #23-1574, Passay Development LLC;** for three-lot subdivision with construction of three single-family homes with driveways, wells and septic's within 200' of upland review area; 325 Snake Meadow Rd; Map ID 60, Alt ID 254-6, Rural Development Zone – with no site walk or public hearing

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

B. Application #23-1575, Town of Killingly:

TOWN STAFF: Jonathan Blake noted water flows off the road causing disturbance and is affecting turbidity of waterflow. Proposal is to install rip-rap in areas of erosion at Kelly Brook. Water flow will not change as a result and is for maintenance purposes only. Silt Fence will be installed immediately as disturbed area is replaced with rip-rap. Additionally filter fabric will be installed under rip-rap.

MOTION 5 made by Paul Archer **SECONDED BY** Corina Torrey that the Inland Wetland and Watercourses Commission delegate its duly authorized agent to act on **Application #23-1575, Town of Killingly,** for drainage improvements / maintenance on Yosemite Valley Road - as of right activity by Jurisdictional Ruling

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

C. Application #23-1576, Margaret and Kevin Johnston:

MOTION 6 made by Paul Archer **SECONDED BY** Corina Torrey that the Inland Wetland and Watercourses Commission skip **Application #23-1576, Margaret and Kevin Johnston,** for demolition and reconstruction of single-family home residence with driveway, existing well and public sewer within 200' of upland review area; 2 South Shore Rd; Map ID 3721, Alt ID 87-37, ALZOD / Rural Development Zone

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

VII. Correspondence to the Commission: none

VIII. Staff Reports:

A. Authorized Agent:

MOTION 7 made by Corina Torrey **SECONDED BY** Paul Archer that the Inland Wetland and Watercourses appoint Allison Brady as an Authorized Agent of the Commission

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

IX. Town Council Liaison: Jason Anderson was present to discuss various Town items.

X. Adjournment

MOTION 8 made by Corina Torrey **SECONDED BY** Paul Archer that the Inland Wetland and Watercourses Commission adjourn meeting at 7:57 pm

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

Respectfully submitted
Sherry Pollard
IWWC Recording Secretary

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of copy of Applicants notice to adjoining municipality _____

Application #: 23-1574
Date Submitted: 9/20/23
Date of Receipt by Comm.: _____
Fee: 460 - pd c/c 12/52 9/20/23
Staff Initials: SG

KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION APPLICATION

A \$100.00 base fee (or, for a proposed subdivision, \$100.00 per lot, whichever is greater) plus \$60.00 state fee must accompany each application **(Total fee: \$160.00)**. **THIS FEE IS NON-REFUNDABLE.** Checks or money orders should be made payable to the Town of Killingly. **Public hearing fee: \$225.00** required in addition to the above fees if a public hearing is required by the commission(s) and not already included.

TO BE COMPLETED BY THE APPLICANT - PLEASE PRINT

Applicant's Name: PASAY DEVELOPMENT, LLC
Day Phone #: 860 908 3906 Evening Phone #: _____
Mailing Address: 162 MAIN ST, DANIELSON, CT 06239
Owner of Record: SAME
Mailing Address: _____ Phone #: _____

Applicant's interest in the land if the applicant is not the property owner: _____

Authorization of property owner: _____

RECEIVED

SEP 20 2023

LOCATION OF PROPERTY:

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

House # and Street: 325 SNAKE MEADOW RD
Tax Map Number: 254 Block: _____ Lot: 6
Zoning District: RD Lot Size: 7.31 AC. Lot Frontage: 983'
Easements and/or deed restrictions: PROPOSED DRAINAGE EASEMENT,
PROPOSED COMMON DRIVEWAY EASEMENT

PURPOSE:

Provide the purpose and description of the proposed activity, including a list of all proposed regulated activities:

CREATION OF THREE LOTS WITH CONSTRUCTION OF HOUSES, SEPTIC SYSTEMS,

DRIVEWAYS AND SITE CLEARING & GRADING WITHIN 200 FEET OF A REGULATED AREA

ON-SITE WETLANDS AND WATERCOURSES:

Windham County wetland soil types and areas of each type: _____

AREA OF WETLAND = 0.4 ACRES +/-

Soil Type: Hinckley

NO WETLANDS SOIL TYPE LISTED IN AREA ON NRCS SOILS MAPPING

Watercourse(s) – type (pond, stream, marsh, bog, drainage ditch, etc.), manmade or natural, and area of each:

NATURAL BROOK CROSSING NORTHWEST CORNER OF PROPERTY TO BE SUBDIVIDED

ALTERNATIVES:

List alternatives considered by the applicant and state why the proposal to alter wetlands as set forth in the application is necessary and was chosen:

N/A

MATERIALS:

Provide the volume (cubic yard) and nature of materials to be deposited and/or extracted:

N/A

MITIGATIVE MEASURES:

List measures to be taken to minimize or avoid any adverse impact on the regulated area:

EROSION CONTROL BARRIERS TO BE ERECTED BETWEEN WETLAND AND SITE ACTIVITY

75' DISTANCE BETWEEN ACTIVITY AND WETLAND

MAJORITY OF AREAS OF ACTIVITY DRAIN AWAY FROM WETLAND

BIOLOGICAL EVALUATION:

Describe the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions:

N/A

SITE PLAN*:

Scale 1"=40' showing existing and proposed conditions in relation to wetlands and water courses to include, but not be limited to:

Contours

Buildings

Wells

Driveways

Septic Systems

Drainage Systems (Including Culverts, Footing and Curtain Drains)

Erosion and Sedimentation controls

Wetlands

Watercourses

Areas of Excavation and /or Material Deposit

**Refer to Section 6.0 – Application Information Requirements and Section 7.0 – Application Evaluation Criteria of the Killingly Inland Wetlands & Watercourses Commission Regulations for information the Commission may require. Professionally prepared plans (Licensed Land Surveyor/Professional Engineer registered in the State of Connecticut, Soil Scientist) may be required for significant activities.*

ADDITIONAL INFORMATION:

List additional information submitted by the applicant:

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly, Killingly Inland Wetlands & Watercourses Commission, and its agent (s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

Applicant's Signature: _____

Date: 9/20/23

Owner of Record: Pacey Development LLC

Date: 9/20/23

member



70 feet Abutters List Report

Killingly, CT

September 18, 2023

Subject Property:

Parcel Number: 254-006-000
CAMA Number: 254-006-000-000 60
Property Address: 325 SNAKE MEADOW RD

Mailing Address: PASAY DEVELOPMENT LLC
162 MAIN ST
KILLINGLY, CT 06239

Abutters:

Parcel Number: 254-002-000
CAMA Number: 254-002-000-000 1374
Property Address: 306 SNAKE MEADOW RD

Mailing Address: DALY-BEYL PATRICIA & SEGUINE MARY D
306 SNAKE MEADOW RD
KILLINGLY, CT 06239

Parcel Number: 254-003-000
CAMA Number: 254-003-000-000 2279
Property Address: 320 SNAKE MEADOW RD

Mailing Address: GRIFFITHS BRUCE & LYNN & KEVIN
1051 THOMPSON RD
THOMPSON, CT 06277

Parcel Number: 254-005-000
CAMA Number: 254-005-000-000 2278
Property Address: 340 SNAKE MEADOW RD

Mailing Address: GRIFFITHS BRUCE & LYNN & KEVIN
1051 THOMPSON RD
THOMPSON, CT 06277

Parcel Number: 254-007-000
CAMA Number: 254-007-000-000 1372
Property Address: 303 SNAKE MEADOW RD

Mailing Address: RIDER JANE E & BARRY A
303 SNAKE MEADOW RD
KILLINGLY, CT 06239

Parcel Number: 255-004-000
CAMA Number: 255-004-000-000 9566
Property Address: 341 SNAKE MEADOW RD

Mailing Address: PETRARCA TIMOTHY A & JULIANN M
341 SNAKE MEADOW RD
KILLINGLY, CT 06239

Parcel Number: 255-005-000
CAMA Number: 255-005-000 2654
Property Address: 529 HUBBARD RD

Mailing Address: LEANDRO JACQUELINE
39 BLACK HILL RD
PLAINFIELD, CT 06374

Parcel Number: 255-005-000
CAMA Number: 255-005-000 3419
Property Address: 523 HUBBARD RD

Mailing Address: STAMPER JACQUELINE
39 BLACK HILL
PLAINFIELD, CT 06374

Parcel Number: 255-006-000
CAMA Number: 255-006-000 498
Property Address: 535 HUBBARD RD

Mailing Address: RZEPA DEBORAH L
535 HUBBARD RD
KILLINGLY, CT 06239

Parcel Number: 255-007-000
CAMA Number: 255-007-000-000 503
Property Address: 539 HUBBARD RD

Mailing Address: RZEPA DEBORAH L
535 HUBBARD RD
KILLINGLY, CT 06239

Parcel Number: 255-010-000
CAMA Number: 255-010-000-000 2701
Property Address: 567 HUBBARD RD

Mailing Address: SNAKE MEADOW CLUB INC
PO BOX 236
CENTRAL VILLAGE, CT 063320236

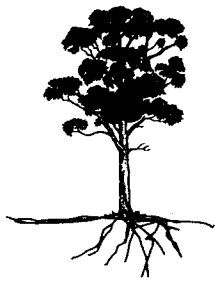


www.cai-tech.com

9/18/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 1



JOSEPH R. THEROUX

~ CERTIFIED FORESTER/ SOIL SCIENTIST ~
PHONE 860 428 7992 ~ FAX 860 376 6842
426 SHEFUCKET TURNPIKE, VOLUNTOWN, CT. 06384
FORESTRY SERVICES ~ ENVIRONMENTAL IMPACT ASSESSMENTS
WETLAND DELINEATIONS AND PERMITTING ~ E&S/SITE MONITORING
WETLAND FUNCTION AND VALUE ASSESSMENTS

4/27/2023

P.C. SURVEY ASSOC. LLC.
63 SNAKE MEADOW HILL RD.
KILLINGLY, CT. 06239

ATTN: MR. PAUL TERWILLIGER

RE: 325 SNAKE MEADOW ROAD WETLAND DELINEATION

DEAR MR. TERWILLIGER,

AT YOUR REQUEST I HAVE DELINEATED THE INLAND WETLANDS AND WATERCOURSE ON THE ABOVE REFERENCED PROPERTY.

THESE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY AND THE DEFINITIONS OF WETLANDS AS FOUND IN THE CONNECTICUT STATUTES, CHAPTER 440, SECTION 22A-38.

FLUORESCENT PINK FLAGS WITH A CORRESPONDING LOCATION NUMBER DELINEATE THE BOUNDARY BETWEEN THE UPLAND SOILS AND THE INLAND WETLANDS/WATERCOURSE.

FLAG NUMBERS WF-1 THROUGH WF-14 DELINEATE THE SOUTHERN BOUNDARY OF THE SNAKE MEADOW BROOK AND ITS ADJACENT FLOODPLAIN/INLAND WETLAND SOILS IN THE NORTHERN PORTION OF THE PROPERTY.

THE REMAINDER OF THE PARCEL WAS INVESTIGATED FOR THE PRESENCE OF INLAND WETLANDS AND WATERCOURSES AND NONE WERE FOUND.

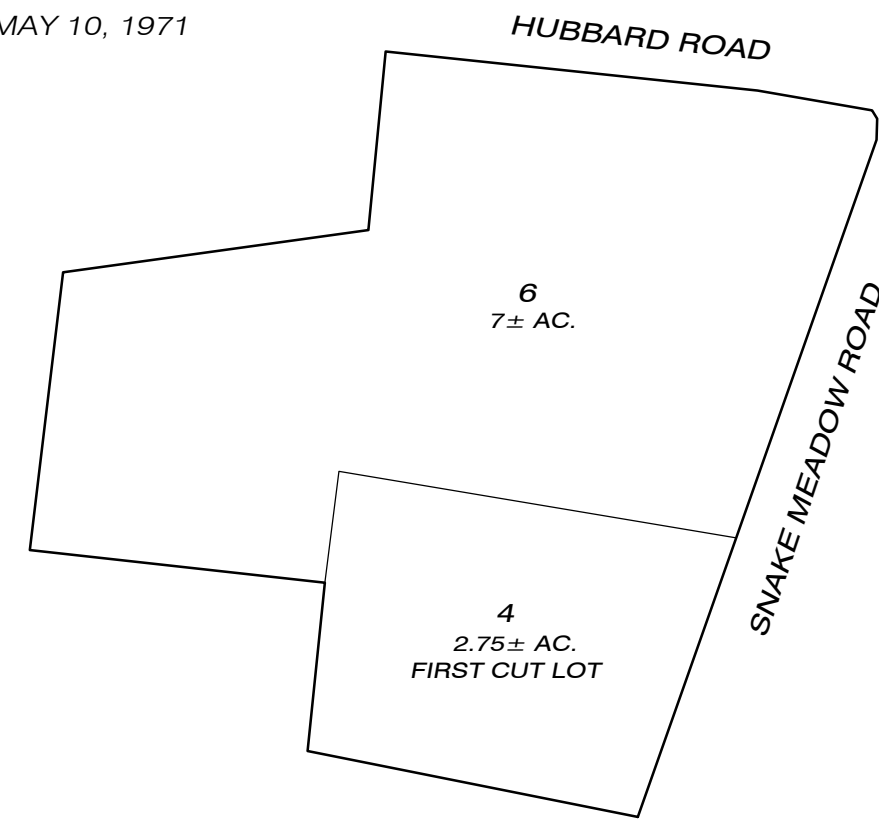
IN CONCLUSION, IF YOU HAVE ANY QUESTIONS CONCERNING THE DELINEATION OR THIS REPORT, PLEASE FEEL FREE TO CONTACT ME.

THANK YOU,

Joseph R. Theroux

JOSEPH R. THEROUX
CERTIFIED SOIL SCIENTIST
MEMBER SSSSNE, NSCSS, SSSA.

EFFECTIVE DATE OF SUBDIVISION: MAY 10, 1971



PARCEL HISTORY LOT 6

GRANTOR	GRANTEE	VOL.	PG.	DATE
BANK OF AMERICA	PASAY DEVELOPMENT, LLC	1411	1069	4/17/2023
FAITH M. ALLENBY	BANK OF AMERICA	1409	538	2/9/2023
ROBERT L. KAUFFMAN	FAITH M. ALLENBY	547	189	7/6/1992 *
WALTON F. BATTERSHALL	ROBERT L. KAUFFMAN & FAITH M. ALLENBY	304	47	6/22/1983
ALLAN F. & CLAUDETTE M. HOFFMAN	WALTON F. BATTERSHALL	214	467	6/18/1976
WALTON F. BATTERSHALL	ALLAN F. & CLAUDETTE M. HOFFMAN	184	594	10/3/1970
DELIA F. NORTEN	WALTER F. BATTERSHALL	183	108	5/22/1970

PARCEL HISTORY LOT 4

GRANTOR	GRANTEE	VOL.	PG.	DATE
TIMOTHY A. PETRARCA	TIMOTHY A. & JULIANN M. PETRARCA	1006	479	7/29/2005
SERGI R. FILONOW, JR. ET AL	TIMOTHY A. PETRARCA	1006	477	7/29/2005
SERGI R. FILONOW, JR. TRUSTEE	SERGI R. FILONOW, JR. ET AL	1006	475	7/29/2005
MAUREEN FILONOW	SERGI R. FILONOW, TRUSTEE	648	82	2/1/1996
FAITH M. ALLENBY	MAUREEN FILONOW	634	260	7/11/1995
ROBERT L. KAUFFMAN	FAITH M. ALLENBY	547	189	7/6/1992 * CREATED

PARCEL HISTORY MAP

1" = 200'

SUBDIVISION OF LAND OF PASAY DEVELOPMENT, LLC 325 SNAKE MEADOW ROAD KILLINGLY, CONNECTICUT AUGUST 2023



0 100 200 300
SCALE: 1" = 100'

APPROVED BY THE KILLINGLY INLAND WETLANDS
& WATERCOURSES COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE KILLINGLY PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AMENDED,
APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS
REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

SURVEYOR: PC SURVEY ASSOCIATES, LLC
63 SNAKE MEADOW ROAD
KILLINGLY, CT 06239



ENGINEER: NORMAND THIBEAULT, P.E.
KILLINGLY ENGINEERING ASSOCIATES
DANIELSON, CT 06239

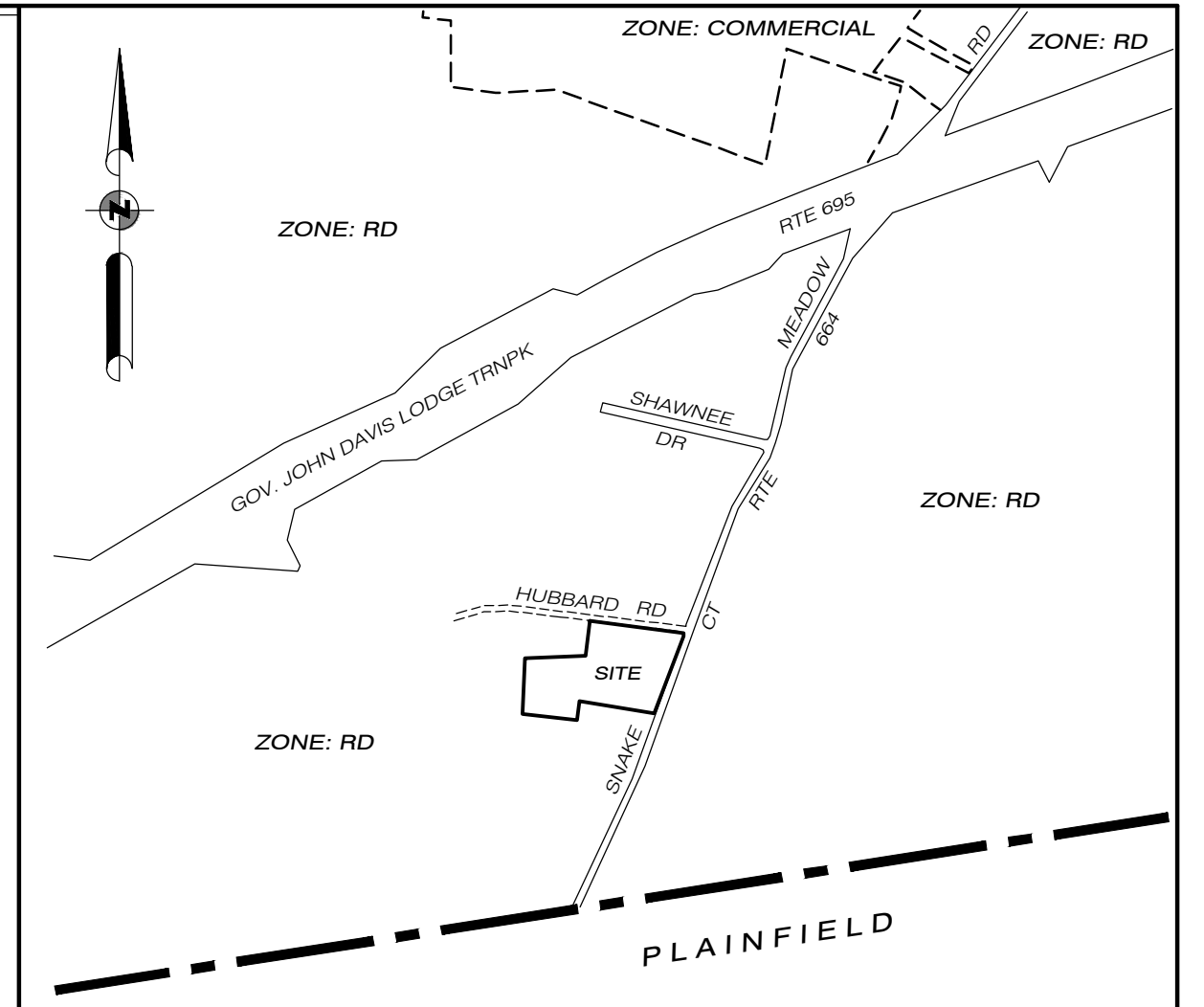


OWNER/APPLICANT: PASAY DEVELOPMENT, LLC
162 MAIN STREET
DANIELSON, CT 6239

SHEET INDEX	
SHEET 1	COVER SHEET
SHEET 2	SUBDIVISION MAP
SHEET 3	LOT DEVELOPMENT PLAN
SHEET 4	EROSION CONTROL & CONSTRUCTION DETAILS

LOCATION MAP

1" = 1000'

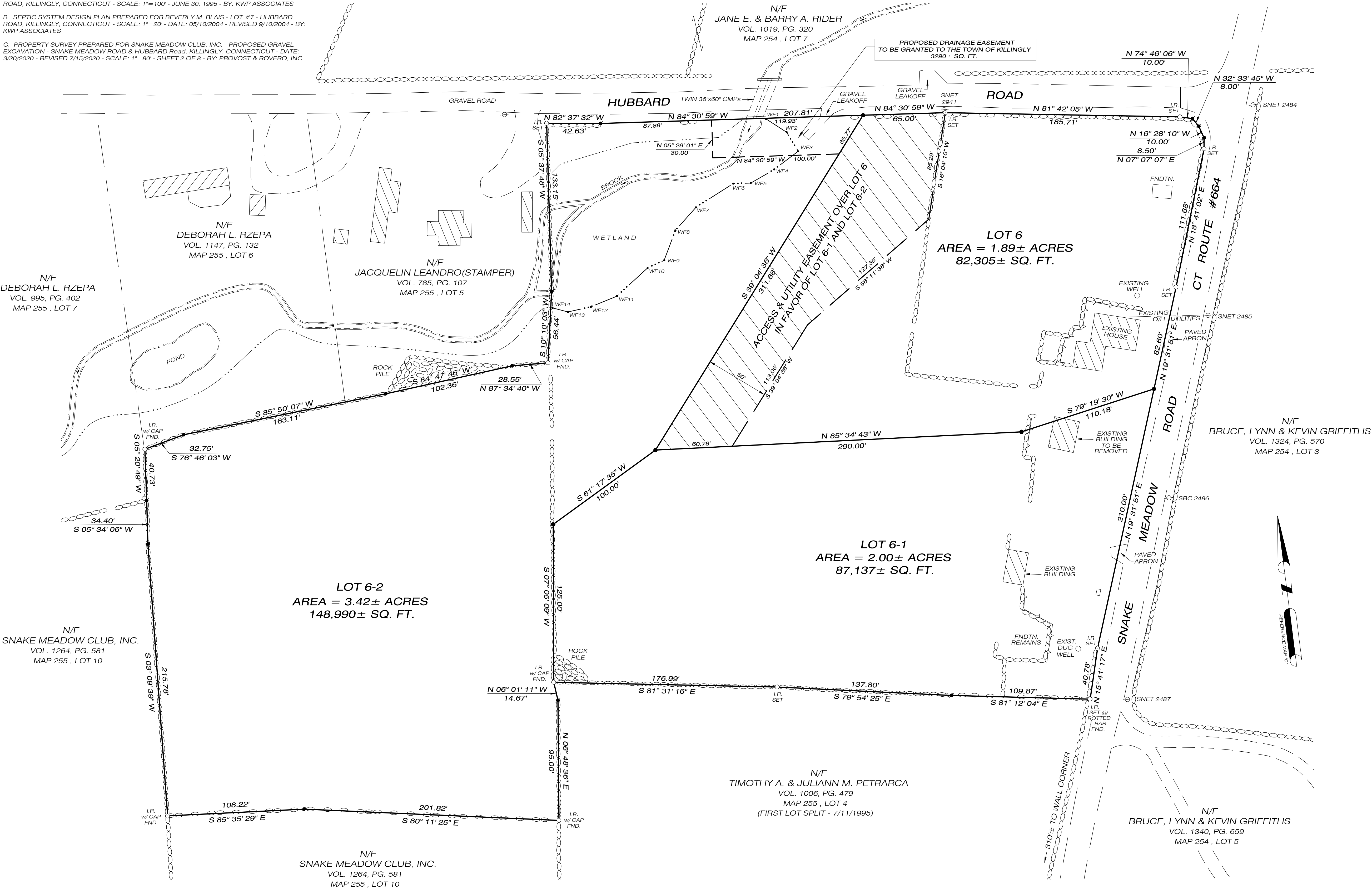


REFERENCE MAPS:

A. PLOT PLAN PREPARED FOR FAITH M. ALLENBY - SNAKE MEADOW ROAD & HUBBARD ROAD, KILLINGLY, CONNECTICUT - SCALE: 1"=100' - JUNE 30, 1995 - BY: KWP ASSOCIATES

B. SEPTIC SYSTEM DESIGN PLAN PREPARED FOR BEVERLY M. BLAIS - LOT #7 - HUBBARD ROAD, KILLINGLY, CONNECTICUT - SCALE: 1"=20' - DATE: 05/10/2004 - REVISED 9/10/2004 - BY: KWP ASSOCIATES

C. PROPERTY SURVEY PREPARED FOR SNAKE MEADOW CLUB, INC. - PROPOSED GRAVEL EXCAVATION - SNAKE MEADOW ROAD & HUBBARD ROAD, KILLINGLY, CONNECTICUT - DATE: 3/20/2020 - REVISED 7/15/2020 - SCALE: 1"=80' - SHEET 2 OF 8 - BY: PROCVST & ROVERO, INC.



NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A SUBDIVISION MAP BASED ON A FIRST SURVEY, RESURVEY & ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "A2". THIS MAP REFLECTS FIELD CONDITIONS ON AUGUST 10, 2023.
- SUBJECT PARCEL IS SHOWN AS MAP 254, LOT 6 OF THE KILLINGLY ASSESSOR'S RECORDS.
- REFERENCE DEED: VOL. 1411, PG. 1069 OF THE KILLINGLY LAND RECORDS.
- PROPOSED SUBDIVISION DOES NOT CONTAIN AREAS WITHIN F.E.M.A. 100-YEAR FLOOD ZONE.
- OPEN SPACE REQUIREMENTS ARE TO BE MET BY A FEE IN LIEU OF LAND DEDICATION.
- SNAKE MEADOW ROAD (CT ROUTE #664) IS AN UNBOUNDED STATE HIGHWAY. THE STREET LINE DEPICTED IS BASED ON FIELD EVIDENCE AND OCCUPATION.

ZONING TABLE - RD ZONING DISTRICT

LOT NO.	LOT AREA (SF) REQUIRED	LOT AREA (SF) PROVIDED	FRONTAGE (FT) REQUIRED	FRONTAGE (FT) PROVIDED
6	80,000 S.F.	82,305± S.F.	250'	481.49'
6-1	80,000 S.F.	87,137± S.F.	250'	250.78'
6-2	80,000 S.F.	148,990± S.F.	250'	250.44'

TOTAL SUBDIVIDED AREA = 7.31± ACRES

APPROVED BY THE KILLINGLY INLAND WETLANDS
& WATERCOURSES COMMISSION

CHAIRMAN

DATE

APPROVED BY THE KILLINGLY PLANNING & ZONING COMMISSION

CHAIRMAN

DATE

PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AMENDED,
APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS
REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

LEGEND

- IRON PIN FOUND
- IRON ROD SET
- STONE WALL
- EDGE OF WETLAND
- ==== EDGE OF WATER

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.S. NO. 70155

09/05/2023
DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE
EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

SUBDIVISION MAP

LOT LAYOUT PLAN
PREPARED FOR

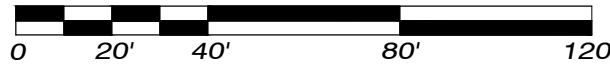
**PASAY
DEVELOPMENT, LLC**

SNAKE MEADOW & HUBBARD RDS.

KILLINGLY, CONNECTICUT

DATE: AUGUST 2023

SCALE: 1" = 40'



JOB NO: 23009

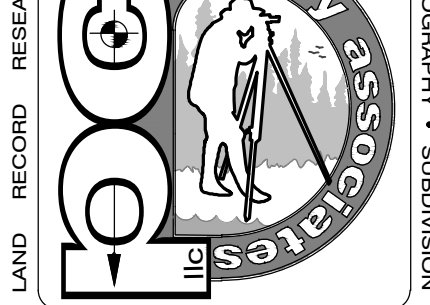
F.B. NO: 232

DRAWN BY: P.A.T.

MAP NO:

SURVEYING • MAPPING • PLOT PLANS

TOPOGRAPHY • SUBDIVISION



email: pcsurvey@snhet.net

63 SNAKE MEADOW RD
KILLINGLY, CT 06239
860 774 6230

SHEET NO: 2 OF 4

REVISED:

ZONE: RURAL DEVELOPMENT (RD)

FRONT YARD SETBACK 75'

SIDE YARD SETBACK 25'

REAR YARD SETBACK 30'

UNDERGROUND UTILITY LOCATIONS ARE TO BE MARKED IN THE FIELD PRIOR TO ANY EXCAVATION
"CALL BEFORE YOU DIG" 1 800 922 4455

NOTES:

1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A GENERAL LOCATION SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS C. SEE SHEET 2 FOR PROPERTY LINE INFORMATION. TOPOGRAPHIC FEATURES WERE TAKEN FROM NOAA LIDAR DATA AND CONFORM TO TOPOGRAPHIC ACCURACY CLASS T-D. VERTICAL DATUM IS NAVD88. THIS MAP HAS BEEN PREPARED FROM OTHER MAPS, RECORD RESEARCH, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. ZONING DISTRICT: RURAL DEVELOPMENT
3. PROPOSED IMPROVEMENTS ARE CONCEPTUAL LOCATIONS TO SHOW LOT SUITABILITY ONLY.
4. SOLAR ACCESS WAS CONSIDERED IN THE DESIGN OF THIS SUBDIVISION. THE HOUSE LOCATIONS DEPICTED ARE ONLY CONCEPTUAL IN NATURE AND IT IS UP TO THE LOT DEVELOPER TO TAKE ADVANTAGE OF THE PASSIVE SOLAR OPPORTUNITIES PRESENTED BY THESE LOTS AT THE TIME OF ACTUAL HOUSE CONSTRUCTION. THE DEVELOPER IS ENCOURAGED TO UTILIZE PASSIVE SOLAR TECHNIQUES AND IT IS RECOMMENDED THAT SUCH FACTORS AS HOUSE ORIENTATION, WINDOW LOCATION AND STYLE, CLEARING LIMITS AND POSITION ON THE LOT BE TAKEN INTO CONSIDERATION WHEN DEVELOPMENT OCCURS.
5. THE INLAND WETLANDS & WATERCOURSES WERE FIELD DELINEATED BY JOSEPH R. THEROUX, SOIL SCIENTIST, APRIL 2023.
6. MAXIMUM DRIVEWAY GRADE PERMITTED IS 12%. GRADES OF 10% OR GREATER ARE TO BE PAVED. PROPOSED DRIVEWAY GRADES DEPICTED ARE LESS THAN 10%.
7. SEE SHEET 4 FOR EROSION & SEDIMENT CONTROL PLAN.
8. THERE ARE NO APPARENT WELLS WITHIN 75 FEET OF THE PROPOSED SEPTIC AREAS DEPICTED. THERE ARE NO APPARENT SEPTIC AREAS LOCATED WITHIN 75 FEET OF THE PROPOSED WELLS DEPICTED.
9. THE STREET LINE SETBACK TO THE PROPOSED HOUSE DEPICTED ON LOT 6 IS MORE CONFORMING THAN THE EXISTING NON-CONFORMING SETBACK TO THE HOUSE THAT IS TO BE REPLACED.

SEPTIC SYSTEM NOTES - LOT 6

3 BEDROOM HOUSE
PERCOLATION RATE: 6.4 MIN./INCH
EFFECTIVE LEACHING AREA REQUIRED = 495 SF
DEPTH TO RESTRICTIVE LAYER = 28"
SLOPE = 10-15%
H.F = 24 x F.F = 1.5 x P.F. = 1.0 MLSS REQUIRED = 36 LF
USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES
MAXIMUM DEPTH INTO GRADE: 9"
EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF
LENGTH OF TRENCH REQUIRED = (495 SF)/(3.0 SF/LF) = 165 LF
USE 3 TRENCHES 55' LONG, 8' O/C
LSS PROVIDED = 55'
LEACHING AREA PROVIDED = 495 SF
SEPTIC TANK: 1000 GALLON
SEPTIC SYSTEM DESIGN PLAN REQUIRED FOR APPROVAL BY NDDH AT THE TIME OF LOT DEVELOPMENT

SEPTIC SYSTEM NOTES - LOT 6-1

3 BEDROOM HOUSE
PERCOLATION RATE: 8 MIN./INCH
EFFECTIVE LEACHING AREA REQUIRED = 495 SF
DEPTH TO RESTRICTIVE LAYER = 43"
SLOPE = 4.1-6%
H.F = 24 x F.F = 1.5 x P.F. = 1.0 MLSS REQUIRED = 36 LF
USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES
MAXIMUM DEPTH INTO GRADE: 25"
EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF
LENGTH OF TRENCH REQUIRED = (495 SF)/(3.0 SF/LF) = 165 LF
USE 3 TRENCHES 55' LONG, 8' O/C
LSS PROVIDED = 55'
LEACHING AREA PROVIDED = 495 SF
SEPTIC TANK: 1000 GALLON
SEPTIC SYSTEM DESIGN PLAN REQUIRED FOR APPROVAL BY NDDH AT THE TIME OF LOT DEVELOPMENT

SEPTIC SYSTEM NOTES - LOT 6-2

3 BEDROOM HOUSE
PERCOLATION RATE: 2 MIN./INCH
EFFECTIVE LEACHING AREA REQUIRED = 495 SF
DEPTH TO RESTRICTIVE LAYER = N/A
SLOPE = 3.1-4%
MLSS: N/A
USE STANDARD 12" DEEP x 48" WIDE LEACHING TRENCHES
MAXIMUM DEPTH INTO GRADE: 35"
EFFECTIVE LEACHING AREA OF TRENCH = 3.0 SF/LF
LENGTH OF TRENCH REQUIRED = (495 SF)/(3.0 SF/LF) = 165 LF
USE 3 TRENCHES 55' LONG, 8' O/C
LSS PROVIDED = 55'
LEACHING AREA PROVIDED = 495 SF
SEPTIC TANK: 1000 GALLON
SEPTIC SYSTEM DESIGN PLAN REQUIRED FOR APPROVAL BY NDDH AT THE TIME OF LOT DEVELOPMENT

APPROVED BY THE KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION

CHAIRMAN

DATE

APPROVED BY THE KILLINGLY PLANNING & ZONING COMMISSION

CHAIRMAN

DATE

PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

LEGEND

- IRON PIN FOUND/SET
- IRON ROD TO BE SET
- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ⊠ TEST PIT
- EROSION CONTROL BARRIER
- EDGE OF WETLAND
- == EDGE OF WATER
- U- PROPOSED UTILITY SERVICE

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.S. NO. 70155

09/05/2023
DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

GENERAL LOCATION SURVEY

SUBDIVISION LOT
DEVELOPMENT PLAN
PREPARED FOR

**PASAY
DEVELOPMENT, LLC**

SNAKE MEADOW & HUBBARD RDS.

KILLINGLY, CONNECTICUT

DATE: AUGUST 2023

SCALE: 1" = 40'

0 20' 40' 80' 120'

JOB NO: 23009

F.B. NO: 232

DRAWN BY: P.A.T.

MAP NO:

SURVEYING • MAPPING • PLOT PLANS

TOPOGRAPHY • SUBDIVISION



email: pccsurvey@snct.net

63 SNAKE MEADOW RD
KILLINGLY, CT 06239
860 774 6230

SHEET NO: 3 OF 4

REVISED:

ALL EROSION AND SEDIMENT CONTROL MEASURES AND PROCEDURES SHALL CONFORM TO CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, MAY 2002.

DEVELOPMENT

PROPOSED DEVELOPMENT WILL CREATE 3 NEW BUILDING LOTS. ACTIVITIES TO INCLUDE CONSTRUCTION OF COMMON AND INDIVIDUAL DRIVEWAYS, HOUSES, SEPTIC SYSTEMS, WELLS, AND SITE GRADING. THE PRIMARY CONCERN OF THIS EROSION & SEDIMENT CONTROL PLAN IS TO PREVENT EXCESSIVE EROSION AND KEEP ERODED SEDIMENT FROM RUNNING OFF SITE OF THE PROPOSED DEVELOPMENT. NO MATERIAL SHALL BE PLACED WITHIN A REGULATED WETLAND AREA EITHER ON OR OFF SITE.

CONSTRUCTION SEQUENCE: (INDIVIDUAL LOT DEVELOPMENT)

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES ALONG DOWN SLOPE SIDE OF THE PROPOSED LIMITS OF DISTURBANCE.
2. STRIP & STOCKPILE TOPSOIL.
3. PROVIDE ANTI TRACKING PAD AND TEMPORARY POWER TO THE SITE.
4. EXCAVATE FOUNDATION AND BEGIN CONSTRUCTION OF RESIDENCE.
5. INSTALL SEPTIC SYSTEM AND WELL.
6. PROVIDE DRIVEWAY AND UTILITIES TO THE RESIDENCE.
7. LOAM, SEED & MULCH DISTURBED AREAS.
8. REMOVE EROSION AND SEDIMENT CONTROL WHEN VEGETATIVE COVER HAS BEEN ESTABLISHED.

GENERAL DEVELOPMENT PLAN

PRIOR TO THE COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUED BY THE TOWN PLANNING AND ZONING COMMISSION, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES.

THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN ZONING ENFORCEMENT OFFICER OR WETLANDS AGENT TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. UPON APPROVAL WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS PURSUANT TO THE PERMIT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE "SILT FENCE INSTALLATION & MAINTENANCE" AND "HAY BALE INSTALLATION & MAINTENANCE" SECTIONS OF THIS NARRATIVE.

ALL STRIPPING IS TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. TOPSOIL SHALL BE STOCKPILED SO THAT SLOPES DO NOT EXCEED 2 TO 1. THERE SHALL BE NO BURIAL OF STUMPS. A HAY BALE SEDIMENT BARRIER IS TO SURROUND EACH STOCKPILE AND A TEMPORARY VEGETATIVE COVER PROVIDED IF NECESSARY.

DUST CONTROL WILL BE ACCOMPLISHED BY SPRAYING WITH WATER.

FINAL STABILIZATION OF THE SITE IS TO FOLLOW THE PROCEDURES OUTLINED IN PERMANENT VEGETATIVE COVER. IF NECESSARY A TEMPORARY VEGETATIVE COVER IS TO BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED.

DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL ON A TWICE-WEEKLY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO THE SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RESEEDDED AND RE-ESTABLISHED.

ALL DISTURBED SLOPES SHALL BE STABILIZED WITHIN ONE SEASON (SPRING OR FALL) OF THE COMPLETION OF THE PROJECT BEFORE A CERTIFICATE OF COMPLIANCE WILL BE ISSUED.

ONCE STABILIZATION HAS BEEN COMPLETED AND APPROVED BY THE TOWN ZONING ENFORCEMENT OFFICER AND/OR WETLANDS AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR OR LOT OWNER.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. DIG A 6" DEEP TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
2. POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POSTS 1.5 FEET INTO THE GROUND.
3. LAY THE BOTTOM 6" OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
4. INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
5. INSPECTIONS WILL BE MADE AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS.
6. SEDIMENT DEPOSITS ARE TO BE REMOVED WHEN THEY REACH A HEIGHT OF 1 FOOT BEHIND THE BARRIER OR HALF THE HEIGHT OF THE BARRIER AND ARE TO BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
7. REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:
 - THE FENCE HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
 - THE FENCE HAS BEEN MOVED OUT OF POSITION, OR
 - THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

HAY BALE INSTALLATION AND MAINTENANCE:

1. BALES SHALL BE PLACED AS SHOWN ON THE PLANS WITH THE ENDS OF THE BALES TIGHTLY ABUTTING EACH OTHER.
2. EACH BALE SHALL BE SECURELY ANCHORED WITH AT LEAST 2 STAKES AND GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER FROM PASSING BETWEEN THE BALES.
3. INSPECT BALES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
4. REMOVE SEDIMENT BEHIND THE BALES WHEN IT REACHES HALF THE HEIGHT OF THE BALE AND DEPOSIT IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
5. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:
 - THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
 - THE BARRIER HAS BEEN MOVED OUT OF POSITION, OR
 - THE HAY BALES HAVE DETERIORATED OR BEEN DAMAGED.

TEMPORARY VEGETATIVE COVER

A TEMPORARY SEEDING OF RYE GRASS WILL BE COMPLETED WITHIN 15 DAYS OF THE FORMATION OF STOCKPILES. IF THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS IT SHALL BE LOOSENED TO A DEPTH OF 2 INCHES BEFORE THE FERTILIZER, LIME AND SEED IS APPLIED. 10-10-10 FERTILIZER AT A RATE OF 7.5 POUNDS PER 1000 S.F. LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. SHALL BE USED. RYE GRASS APPLIED AT A RATE OF 1 LB. PER 1000 S.F. SHALL PROVIDE THE TEMPORARY VEGETATIVE COVER. STRAW FREE FROM WEEDS AND COARSE MATTER SHALL BE USED AT A RATE OF 70-90 LBS. PER 1000 S.F. AS A TEMPORARY MULCH. APPLY A JUTE NETTING COVER TO SLOPES OF 3:1 OR GREATER SLOPE.

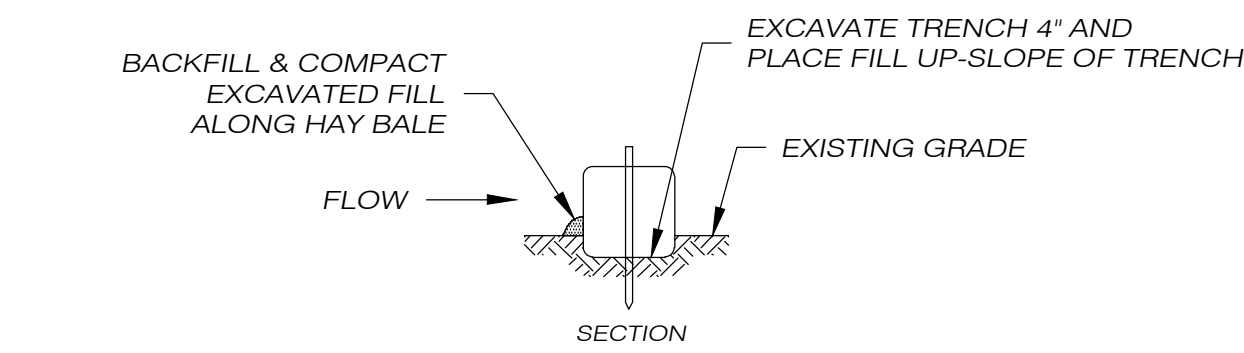
PERMANENT VEGETATIVE COVER

TOPSOIL WILL BE REPLACED ONCE THE EXCAVATION AND FILL PLACEMENT HAS BEEN COMPLETED AND THE SLOPES ARE GRADED TO A SLOPE NO GREATER THAN 2 TO 1. PROVIDE SLOPE PROTECTION ON ALL CUT SLOPES. TOPSOIL WILL BE SPREAD AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. ONCE THE TOPSOIL HAS BEEN SPREAD, ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION WILL BE REMOVED AS WELL AS DEBRIS, APPLY AGRICULTURAL GROUND LIMESTONE AT THE RATE OF TWO TONS PER ACRE OR 100 LBS. PER 1000 S.F. APPLY 10-10-10 FERTILIZER OR EQUIVALENT AT A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER S.F. WORK LIMESTONE INTO THE SOIL TO A DEPTH OF 4 INCHES. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS COMPACTED THE SOIL, RETILL COMPACTED AREAS. APPLY THE FOLLOWING GRASS SEED MIX:

SEED MIXTURE	LBS./ACRE	LBS./1000 S.F.
KENTUCKY BLUEGRASS	20	0.45
CREEPING RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

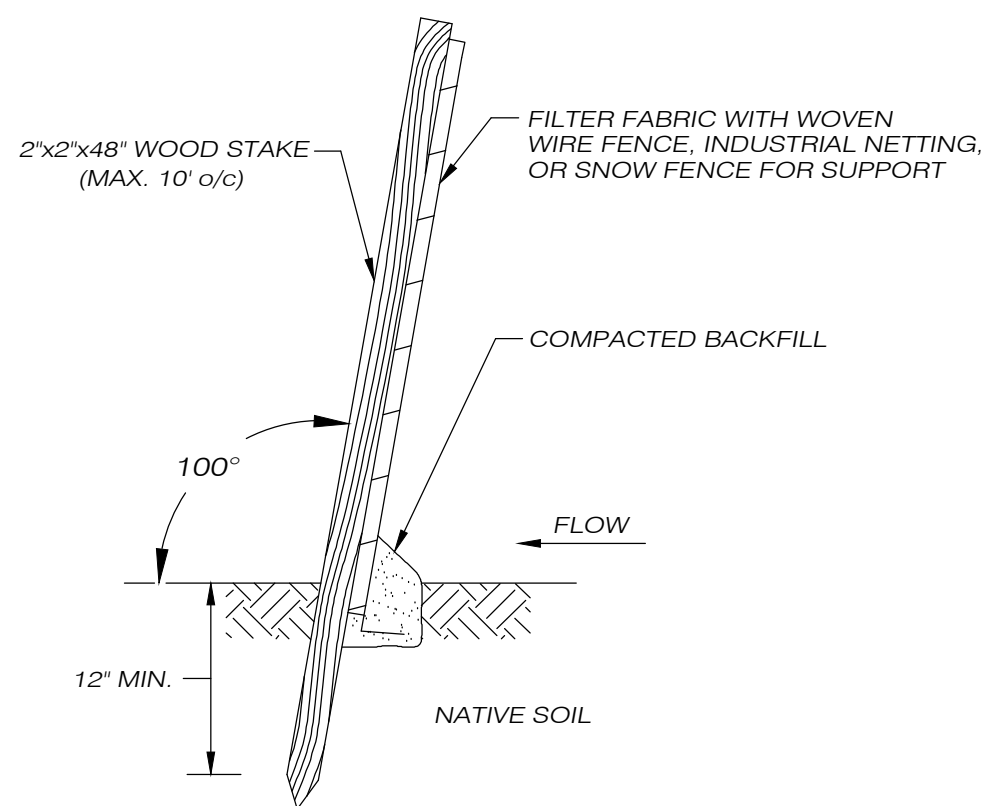
THE RECOMMENDED SEEDING DATES ARE: APRIL 1 - JUNE 15 AND AUGUST 1 - SEPTEMBER 15

FOLLOWING SEEDING MULCH WITH WEED FREE STRAW AND APPLY A JUTE NETTING COVER TO AREAS OF 3:1 OR GREATER SLOPE



WEDGE LOOSE HAY BETWEEN BALES
(2)-2"x2"x3" STAKES OR REBAR PER BALE
PLACE HAYBALE AND DRIVE FIRST STAKE AT ANGLE TOWARDS PREVIOUS LAID BALE. STAKES ARE 18" MIN. INTO GROUND
EMBED HAYBALE 4" MIN. INTO SOIL

HAY BALE BARRIER DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

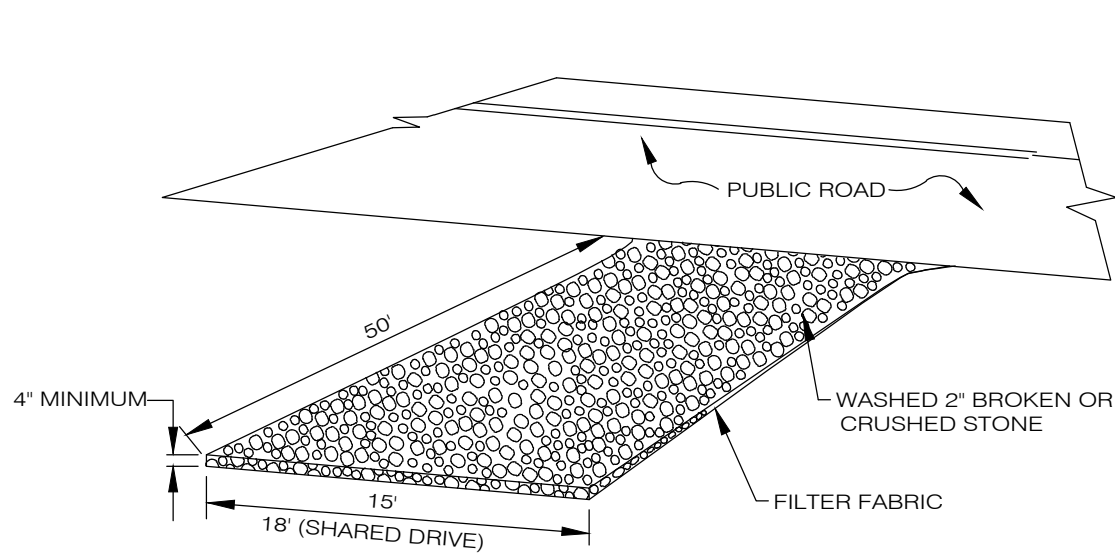
APPROVED BY THE KILLINGLY PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE

APPROVED BY THE KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION

CHAIRMAN _____ DATE _____



ANTI-TRACKING PAD
NOT TO SCALE

SOIL TEST DATA
SOIL TESTING PERFORMED 8-29-2023 BY NDDH
FILE NO. 07001010

TP 7

0-11"	JUNK MATERIAL / TOPSOIL / ORGANICS
11-30"	SILTY SANDY LOAM
30-90"	GREY SANDY LOAM w/ SOME SMALL ROCKS, MOIST

NO MOTTLING
WATER SEEPS AT 84"
NO LEDGE
RESTRICTIVE LAYER AT 30"

TP 8

0-6"	TOPSOIL / ORGANICS
6-27"	SILTY SANDY LOAM
27-77"	GREYISH SANDY PAN, SOME ROCKS
77-90"	GROUNDWATER

MOTTLING AT 28"
WATER AT 77". SEEPS AT 70"
NO LEDGE
RESTRICTIVE LAYER AT 27"

PERC. 'A' PERCOLATION RATE: 6.4 MIN./INCH AT 26" DEPTH

TP 9

0-5"	TOPSOIL / ORGANICS
5-18"	RED/BROWN LOAMY SAND
18-43"	TAN SILTY FINE SAND
43-83"	GREYISH MOD. COMPACT BONEY SANDY PAN

NO MOTTLING
NO WATER
NO LEDGE
RESTRICTIVE LAYER AT 43"

TP 10

0-9"	TOPSOIL / ORGANICS
9-16"	REDDISH/BROWN LOAMY SAND
16-60"	BONEY MED. SAND
60-78"	GREY VERY BONEY MED. SAND

NO MOTTLING
NO WATER
NO LEDGE
RESTRICTIVE LAYER AT 68"

PERC. 'B' PERCOLATION RATE: 8 MIN./INCH AT 26" DEPTH

TP 11

0-5"	TOPSOIL
5-21"	LOAMY SAND
21-57"	TAN/WHITE FINE SAND, SILTY
57-90"	BONEY GRAVEL, SOME LRG. ROCKS

NO MOTTLING
NO WATER
NO LEDGE

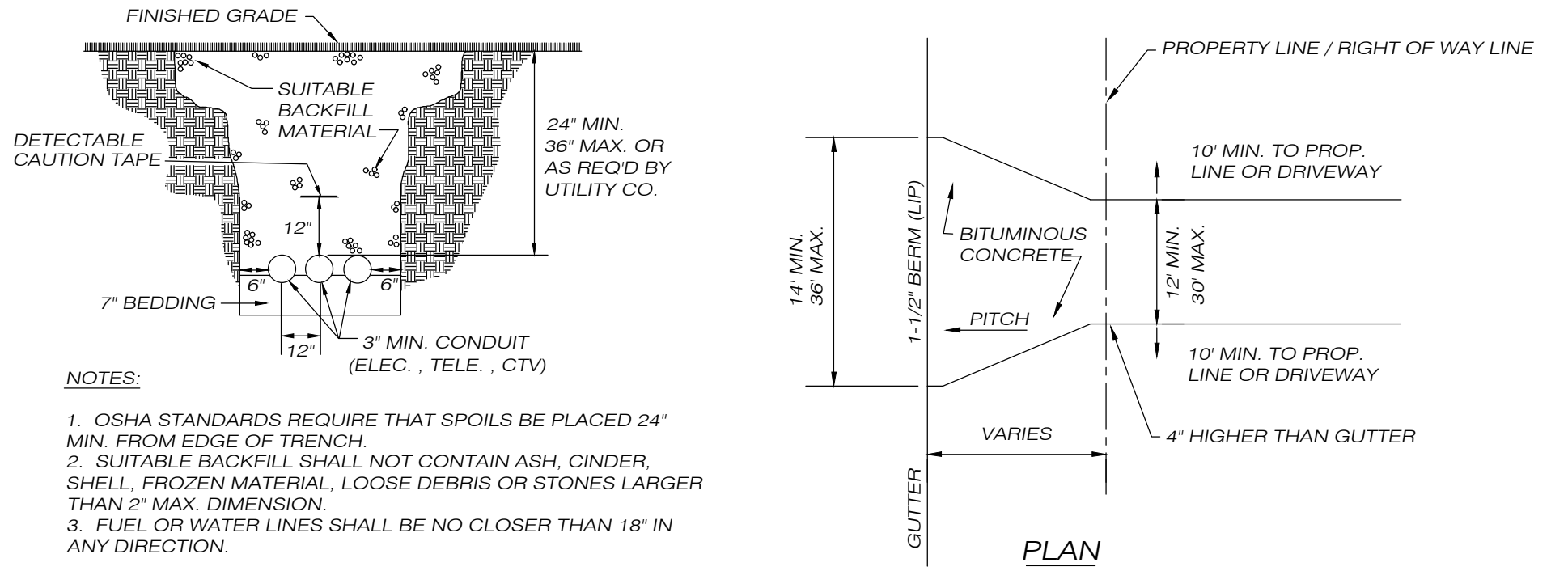
TP 12

0-5"	TOPSOIL / ORGANICS
5-21"	LOAMY SAND
21-36"	BONEY GRAVEL
36-83"	BONEY GRAVEL w/ VERY LRG. ROCKS/BOULDERS

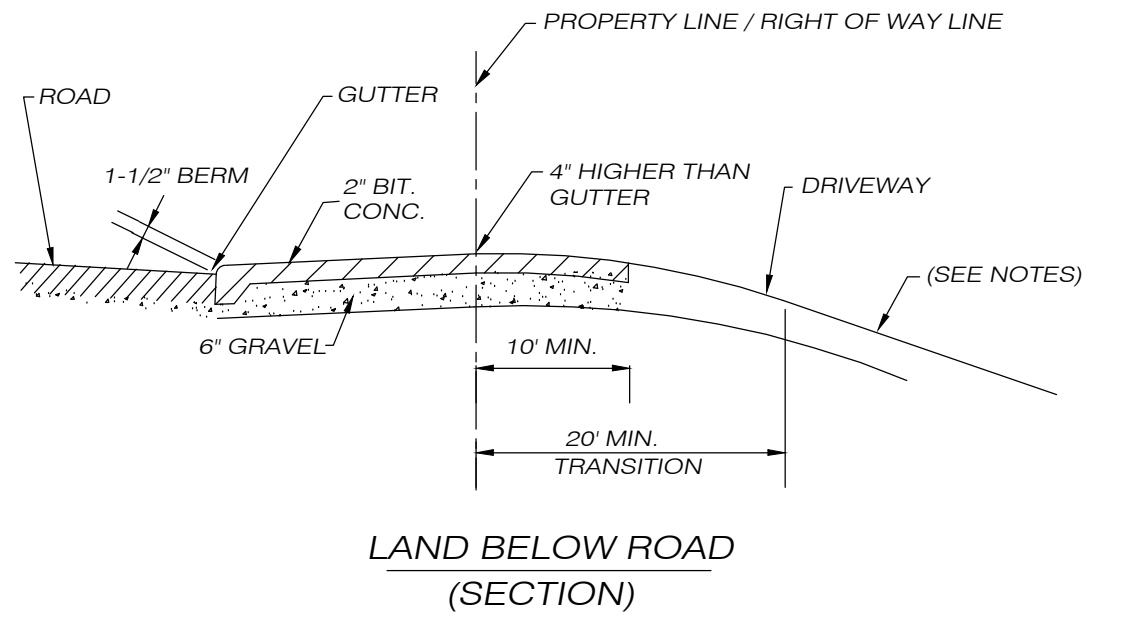
NO MOTTLING
NO WATER
NO LEDGE

PERC. 'C' PERCOLATION RATE: 2 MIN./INCH AT 26" DEPTH

NOTE: TEST PITS 1 - 6 LOGGED 11-22-2006 - LOCATIONS UNDETERMINED



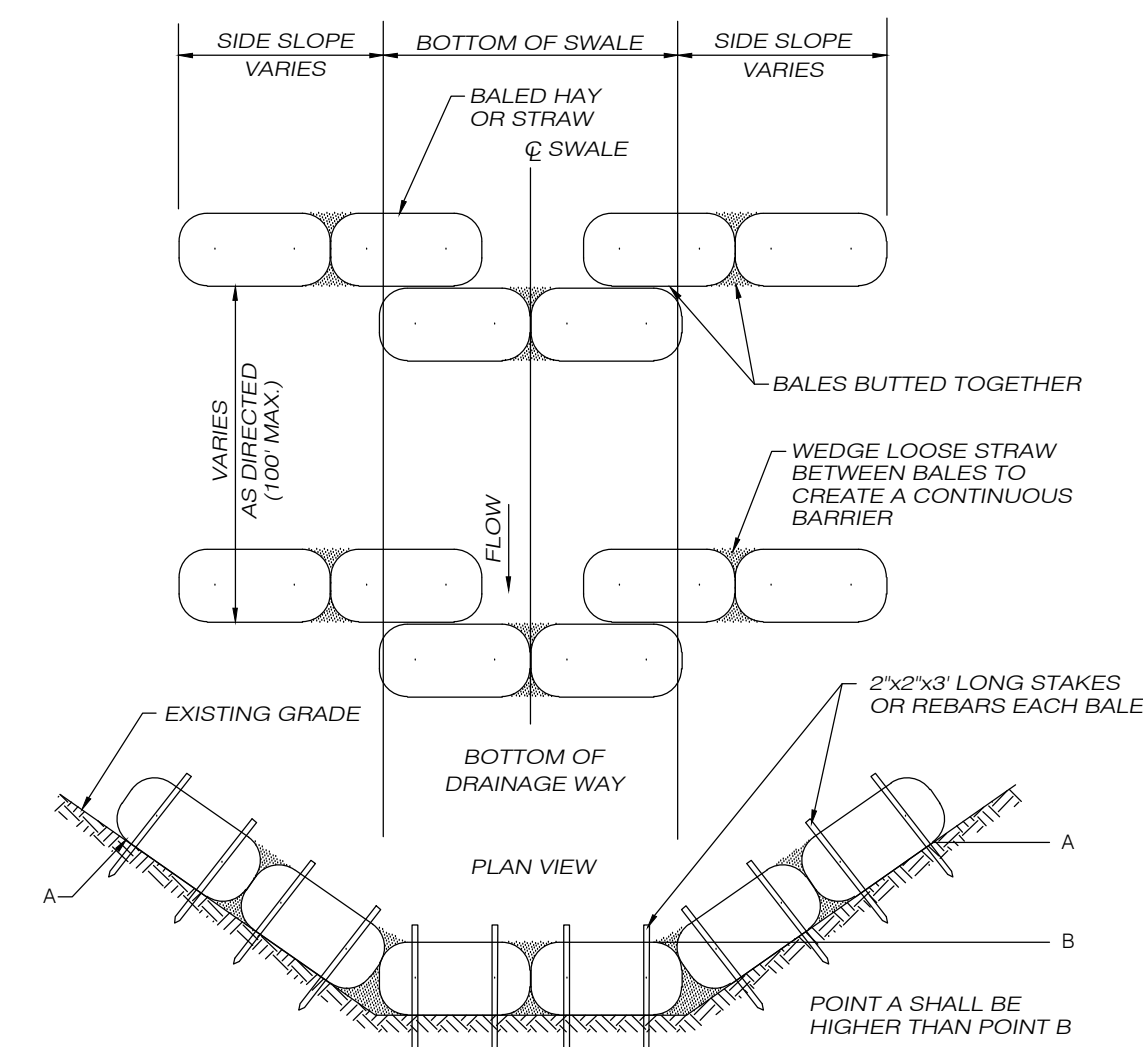
UTILITY TRENCH DETAIL
NOT TO SCALE



STANDARD DRIVEWAY DETAIL
NOT TO SCALE

NOTES:

1. MAXIMUM DRIVEWAY GRADE IS 12%
2. DRIVEWAYS IN EXCESS OF 10% GRADE SHALL BE PAVED WITH BITUMINOUS CONCRETE.



HAYBALE CHECK DAM
NOT TO SCALE

Killingly Engineering Associates
114 Westcott Road
P.O. Box 421
Dayville, Connecticut 06241
860 779 7299

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE _____

SUBDIVISION OF LAND

EROSION CONTROL PLAN & CONSTRUCTION DETAILS

PREPARED FOR

PASAY DEVELOPMENT, LLC

LAND RECORD RESEARCH

Survey Associates

email: pcsurvey@snhet.net

63 SNAKE MEADOW RD KILLINGLY, CT 06239 860 774 6230

SHEET NO: 4 OF 4

REVISED:

JOB NO: 23009 F.B. NO: N/A DRAWN BY: P.A.T. MAP NO:

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of copy of Applicants notice to adjoining municipality _____

Application #: 23-1576
Date Submitted: 9/29/23
Date of Receipt by Comm.: _____
Fee: 160-PDCK 4475 9/29/23
Staff Initials: _____

KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION APPLICATION

A \$100.00 base fee (or, for a proposed subdivision, \$100.00 per lot, whichever is greater) plus \$50.00 state fee must accompany each application (**Total fee: \$160.00**). **THIS FEE IS NON-REFUNDABLE**. Checks or money orders should be made payable to the Town of Killingly. **Public hearing fee: \$225.00** required in addition to the above fees if a public hearing is required by the commission(s) and not already included.

TO BE COMPLETED BY THE APPLICANT - PLEASE PRINT

Applicant's Name: Margaret and Kevin Johnston
Day Phone #: 860-377-2742 Evening Phone #: (same)
Mailing Address: PO Box 271 Pomfret Center, CT 06259
Owner of Record: _____
Mailing Address: PO Box 271 Pomfret Center, CT 06259 Phone #: _____

Applicant's interest in the land if the applicant is not the property owner: _____

Lease Lot

Authorization of property owner: _____

SEP 29 2023

LOCATION OF PROPERTY:

House # and Street: 2 South Shore Rd
Tax Map Number: 87 Block: _____ Lot: 37
Zoning District: A1ZOD Lot Size: .11 Lot Frontage: 62' +/-
Easements and/or deed restrictions: _____

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

PURPOSE:

Provide the purpose and description of the proposed activity, including a list of all proposed regulated activities:

Residential Construction - new residential home

ON-SITE WETLANDS AND WATERCOURSES:

Windham County wetland soil types and areas of each type: _____

Canton and Chariton Soils

Carlisle muck

Watercourse(s) – type (pond, stream, marsh, bog, drainage ditch, etc.), manmade or natural, and area of each: _____

Alexanders Lake

ALTERNATIVES:

List alternatives considered by the applicant and state why the proposal to alter wetlands as set forth in the application is necessary and was chosen:

~~None~~ None

MATERIALS:

Provide the volume (cubic yard) and nature of materials to be deposited and/or extracted:

None

MITIGATIVE MEASURES:

List measures to be taken to minimize or avoid any adverse impact on the regulated area:

Silt fence

BIOLOGICAL EVALUATION:

Describe the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions:

SITE PLAN*:

Scale 1"=40' showing existing and proposed conditions in relation to wetlands and water courses to include, but not be limited to:

Contours

Buildings

Wells

Driveways

Septic Systems

Drainage Systems (Including Culverts, Footing and Curtain Drains)

Erosion and Sedimentation controls

Wetlands

Watercourses

Areas of Excavation and /or Material Deposit

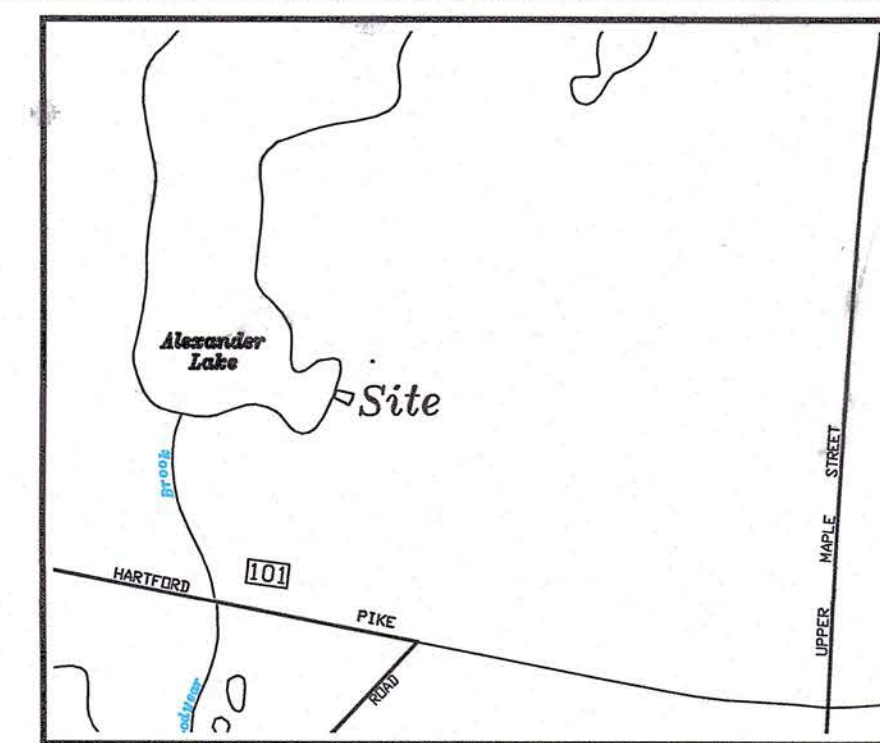
**Refer to Section 6.0 – Application Information Requirements and Section 7.0 – Application Evaluation Criteria of the Killingly Inland Wetlands & Watercourses Commission Regulations for information the Commission may require. Professionally prepared plans (Licensed Land Surveyor/Professional Engineer registered in the State of Connecticut, Soil Scientist) may be required for significant activities.*

ADDITIONAL INFORMATION:

List additional information submitted by the applicant:

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly, Killingly Inland Wetlands & Watercourses Commission, and its agent (s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

Applicant's Signature: Margaret Johnston Date: 9/28/2023
Owner of Record: _____ Date: _____



Location Map

SCALE
1000 0 1000
1" = 1000 FT

ALZOD ZONING REQUIREMENTS TABLE

LOT AND BUILDING STANDARDS	ALZOD ZONING REQUIREMENTS	EXISTING Lot 37
LEASED LOT AREA	-	4,691 +/- Sq.Ft.
LOT COVERAGE	50 % or 6,000 sq.ft.	1,892/4,691=40%
IMPERVIOUS AREA		1,679 Sq. Ft.
EXISTING HOUSE		997 Sq.Ft.
EXISTING DECK		249 Sq.Ft.
EXISTING COVERED PATIO		132 Sq.Ft.
EXISTING CONCRETE PAD		261 Sq.Ft.
EXISTING PORCH		40 Sq.Ft.
PERVIOUS AREA		213 Sq. Ft.
EXISTING WALKWAYS		156 Sq.Ft.
EXISTING STONE PATIO		57 Sq.Ft.
TOTAL LOT COVERAGE		1,892 Sq. Ft.

		EXISTING Lot 37
MINIMUM FRONT YARD DEPTH	10' off Public Road	26.2'
MINIMUM SETBACK FROM LAKE	15'	12.9'
MINIMUM SIDE YARD DEPTH	6'	E W 1.9' 6.3'
MAXIMUM HEIGHT	35'	<35'

NOTES:

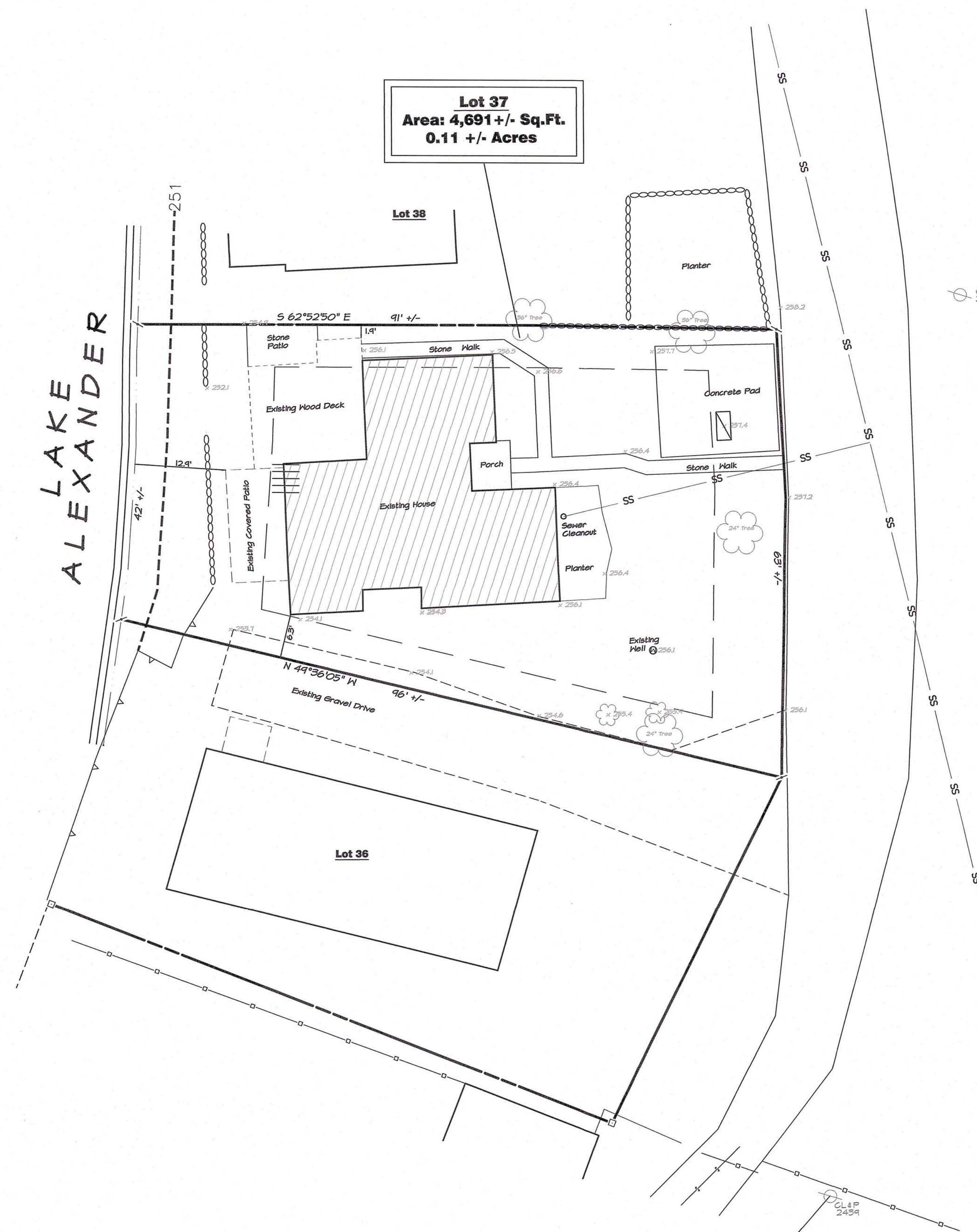
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
- This survey conforms to a Class "A2" horizontal accuracy.
- Survey Type: Existing Conditions Plan
- Parcels shown are Lot 37, on Assessors Tax Map #87 of the Killingly Assessors Office
- Zone: Low Density & Alexander Lake Zone Overlay District.
Front Yard: 10'
Side Yard: 6'
Rear Yard: 15'
- Lot is served by municipal sewer

Map Reference:

- Plan of Lots at Alexander's Lake, Leased from John R. & Gladys Sheridan, Scale: 1"=80', Date 1954
- Alexander's Lake-Leased Tract Map-prepared by: Town of Killingly Planning & Zoning Department, Scale: 1"=200', Date: April 1992
- Plan of Lots at Alexander's Lake, prepared for John Robert Sheridan, North Shore Road, Killingly, Connecticut, Scale: 1"=200', Date: August 1995, Prepared by: Kwp Associates

LEGEND

---	PROPERTY LINE
---	EASEMENT
---	STONEWALL
---	EXISTING INDEX CONTOUR
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	WETLANDS FLAG
---	BUILDING SETBACK
---	IRON PIN
---	DRILL HOLE
---	MONUMENT
---	PROPERTY POINT
---	UTILITY POLE



To my knowledge and belief, this map is substantially correct as noted herein.

7/11/2023
Paul M. Archer, Conn. L.S. #70013

No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

Existing Condition Plan

Prepared For:
Kevin & Marge Johnston
2 South Shore Road
Alexanders Lake, Killingly, Connecticut

DRAWING SCALE: 1"=10'

ARCHER Surveying LLC.
18 Providence Road, Brooklyn, CT
(860) 779-2240 / (860) 928-1921

KWP
SURVEYING - ENGINEERING - SITE PLANNING

LOUIS J. SOJA, JR.
LAND SURVEYOR-LAND PLANNER

Sheet No. 1 OF 1 Project No. 2260 Date: June 28, 2023

RECEIVED
SEP 29 2023

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

REVISIONS	
DATE	DESCRIPTION



NOTES:

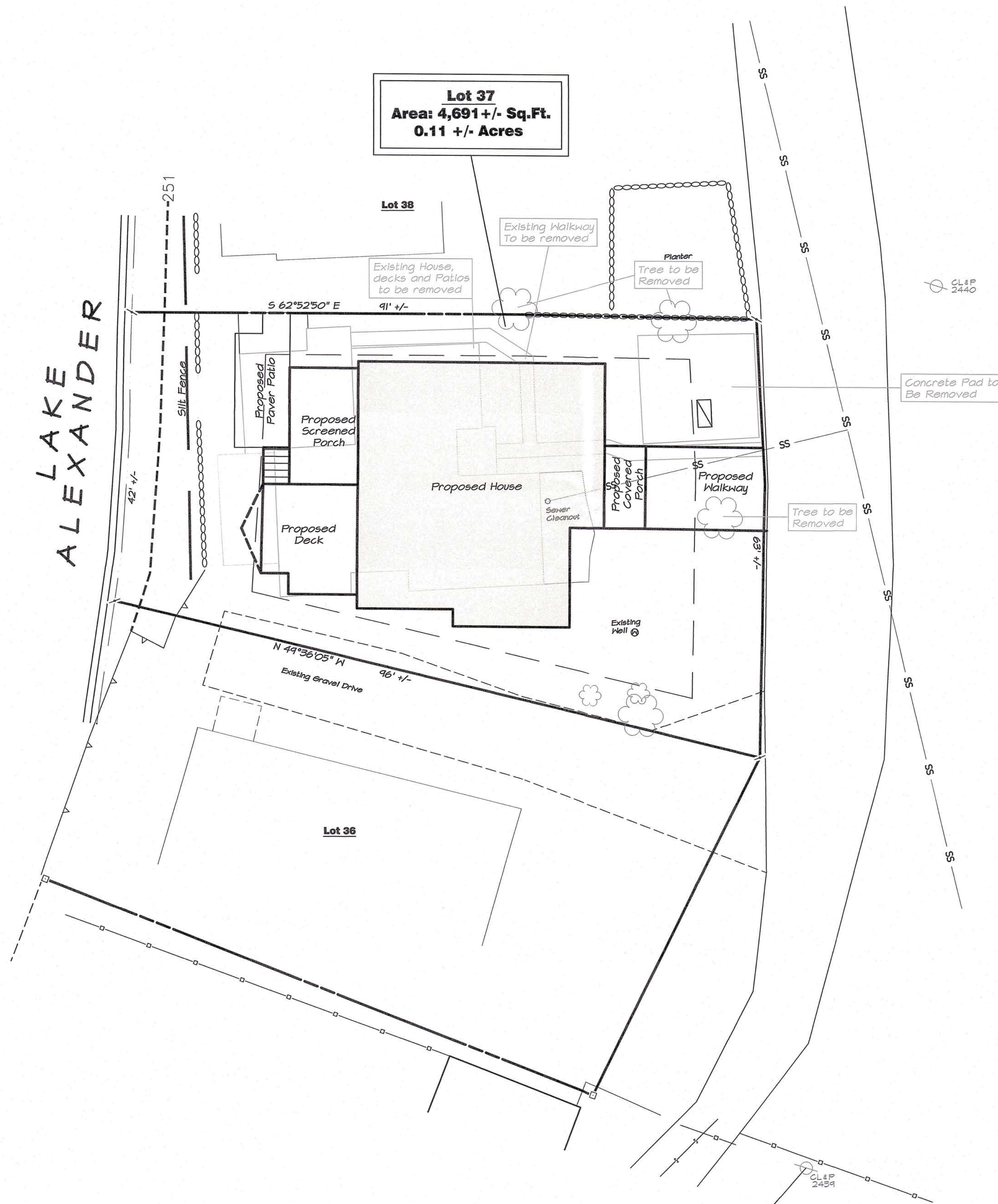
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 28, 1946;
 - This survey conforms to a Class "A2" horizontal accuracy.
 - Survey Type: Site Development Plan
- Parcels shown are Lot 37, on Assessors Tax Map #87 of the Killingly Assessors Office
- Zone: Low Density & Alexander Lake Zone Overlay District.
 - Front Yard: 10'
 - Side Yard: 6'
 - Rear Yard: 15'
- Lot is served by municipal sewer
 - a. Lateral location as per location in field

Map Reference:

- Plan of Lots at Alexander's Lake, Leased from John R. & Gladys Sheridan, Scale: 1"=80', Date: 1934
- Alexander's Lake-Leased Tract Map-prepared by: Town of Killingly Planning & Zoning Department, Scale: 1"=200', Date: April 1992
- Plan of Lots at Alexander's Lake, prepared for John Robert Sheridan, North Shore Road, Killingly, Connecticut, Scale: 1"=200', Date: August 1995, Prepared by: Kwp Associates
- General Location Survey Showing Lease Line Agreement, Prepared for Thomas Weaver & Hugh Chapman, Island Road, Alexander Lake, Killingly, Connecticut, Date: September 2002, Prepared by: PC Survey Assoc.
- General Location Survey Showing Proposed House, Prepared for Hugh Chapman, Island Road, Alexander Lake, Killingly, Connecticut, Date: Sept. 2002, Prepared by: PC Survey Associates

LEGEND

	PROPERTY LINE
	SILT FENCE
	STONEWALL
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED CONTOUR
	WETLANDS FLAG
	BUILDING SETBACK
	IRON PIN
	DRILL HOLE
	MONUMENT
	PROPERTY POINT
	UTILITY POLE



ALZOD ZONING REQUIREMENTS TABLE

LOT AND BUILDING STANDARDS	ALZOD ZONING REQUIREMENTS	EXISTING Lot 37
LEASED LOT AREA	-	4,691 +/- Sq.Ft.
LOT COVERAGE	50 % or 6,000 sq.ft.	1,892/4,691=40%
IMPERVIOUS AREA		1,679 Sq. Ft.
EXISTING HOUSE		997 Sq.Ft.
EXISTING DECK		249 Sq.Ft.
EXISTING COVERED PATIO		132 Sq.Ft.
EXISTING CONCRETE PAD		261 Sq.Ft.
EXISTING PORCH		40 Sq.Ft.
PERVIOUS AREA		213 Sq. Ft.
EXISTING WALKWAYS		156 Sq.Ft.
EXISTING STONE PATIO		57 Sq.Ft.
TOTAL LOT COVERAGE		1,892 Sq. Ft.

Proposed Lot 37	
PROPOSED HOUSE	1,266 sq.ft
PROPOSED DECKS AND STAIRS	420 sq.ft
PROPOSED COVERED PORCH	72 sq.ft
PROPOSED WALKWAYS	210 sq.ft
PROPOSED PATIOS (PERVIOUS)	146 sq.ft
TOTAL PROPOSED NEW IMPERVIOUS AREA	1,968 sq.ft
TOTAL PROPOSED NEW LOT COVERAGE	1,968/4,691=42%

ALZOD ZONING REQUIREMENTS TABLE

LOT AND BUILDING STANDARDS	ALZOD ZONING REQUIREMENTS	EXISTING Lot 37	Proposed Lot 37
LEASED LOT AREA	-	4,691 +/- Sq.Ft.	4,691 +/- SF
LOT COVERAGE	50 % or 6,000 sq.ft.	1,892/4,691=40%	1,968/4,691=42%
HOUSE		997 Sq.Ft.	1,266 sq.ft
DECK		249 Sq.Ft.	420 sq.ft
PATIO (PERVIOUS)		189 Sq.Ft.	146 sq.ft
PORCH		40 Sq.Ft.	72 sq.ft
CONC PAD		261 Sq.Ft.	-
WALKWAY		156 Sq.Ft.	210 sq.ft
TOTAL LOT COVERAGE (IMPERVIOUS)		1,892 Sq. Ft.	1,968 Sq.Ft.

		EXISTING Lot 37	PROPOSED Lot 37
MINIMUM FRONT YARD DEPTH	10' off Public Road	6.1'	X'
MINIMUM SETBACK FROM LAKE	15'	14.3'	15.5'
MINIMUM SIDE YARD DEPTH	6'	NE 12.2' SW 9.2'	NE 6.9 SW 7.2
MAXIMUM HEIGHT	35'	<35'	<35'

RECEIVED
SEP 29 2023

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

REVISIONS	
DATE	DESCRIPTION

Site Development Plan

Prepared For:
Kevin & Marge Johnston
2 South Shore Road
Alexanders Lake, Killingly, Connecticut

DRAWING SCALE: 1"=10'



LOUIS J. SOJA, JR.
LAND SURVEYING - LAND PLANNING

Sheet No. 1 OF 1 Project No. 2260 Date: June 28, 2023



Killingly Engineering Associates

P.O. Box 421 Killingly, CT 06241
Phone: 860-779-7299
www.killinglyengineering.com

November 2, 2023

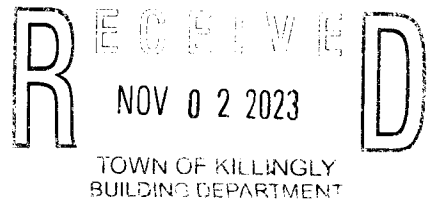
Proposed Single Family Residence
Gavin Sheehan
350 Breakneck Hill Road

APPLICATION PACKAGE CONTENTS – Inland Wetlands

1. Application fee:

\$ 100.00 (Base Fee)
\$ 60.00 (State Fee)
\$ 160.00 (Total Fee)

2. 4 - full sized sets of plans – dated: 11/02/2023
3. One 11"x17" plan – dated 11/02/2023
4. Inland Wetland and Watercourses Commission Permit Application
5. DEEP Activity Reporting Form
6. List of adjacent land owners including across the street as of November 2, 2023
7. Soil Scientist Delineation Report
8. Web Soil Survey



LIST OF AJACENT LAND OWNERS as of 11/01/2023 GIS

**Gavin Sheehan
350 Breakneck Hill Road
Killingly, CT**

Job No. 23096

PARCEL NUMBER NAME & MAILING ADDRESS
KILLINGLY

PARCEL NUMBER JAMES S. & CLAIRE G. KELLAM
078-005-000 P.O. BOX 179
320 BREAKNECK HILL KILLINGLY, CT 06233

PARCEL NUMBER FRANCIS LABELLE & KIMBERLY FEARNEY LABELLE
065-005-000 571 CHESTNUT HILL ROAD
 KILLINGLY, CT 06241

PARCEL NUMBER FRANCIS R. & LOUIS LABELLE
065-004-000 571 CHESTNUT HILL ROAD
511 CHESTNUT HILL KILLINGLY, CT 06241

PARCEL NUMBER EDITH R. MAVOR
053-022-001 25 HENLEY WAY
609 CHESTNUT HILL WEST HARTFORD, CT 06117

PARCEL NUMBER MICHELLE MURPHY
078-004-000 325 BREAKNECK HILL ROAD
 KILLINGLY, CT 06241

PARCEL NUMBER ANTHONY J. & JOSEPHINE PULCINELLA
065-007-000 70 SEAVIEW AVE
333 BREAKNECK HILL BRANFORD, CT 06405

PARCEL NUMBER RICHARD ST PIERRE
065-007-001 55 LOST ACRES DR
341 CHESTNUT HILL CHEPACHET, RI 02814

PARCEL NUMBER NANCY & JAMES WILSON
077-004-000 P.O. BOX 943
276 CHESTNUT HILL KILLINGLY, RI 02814



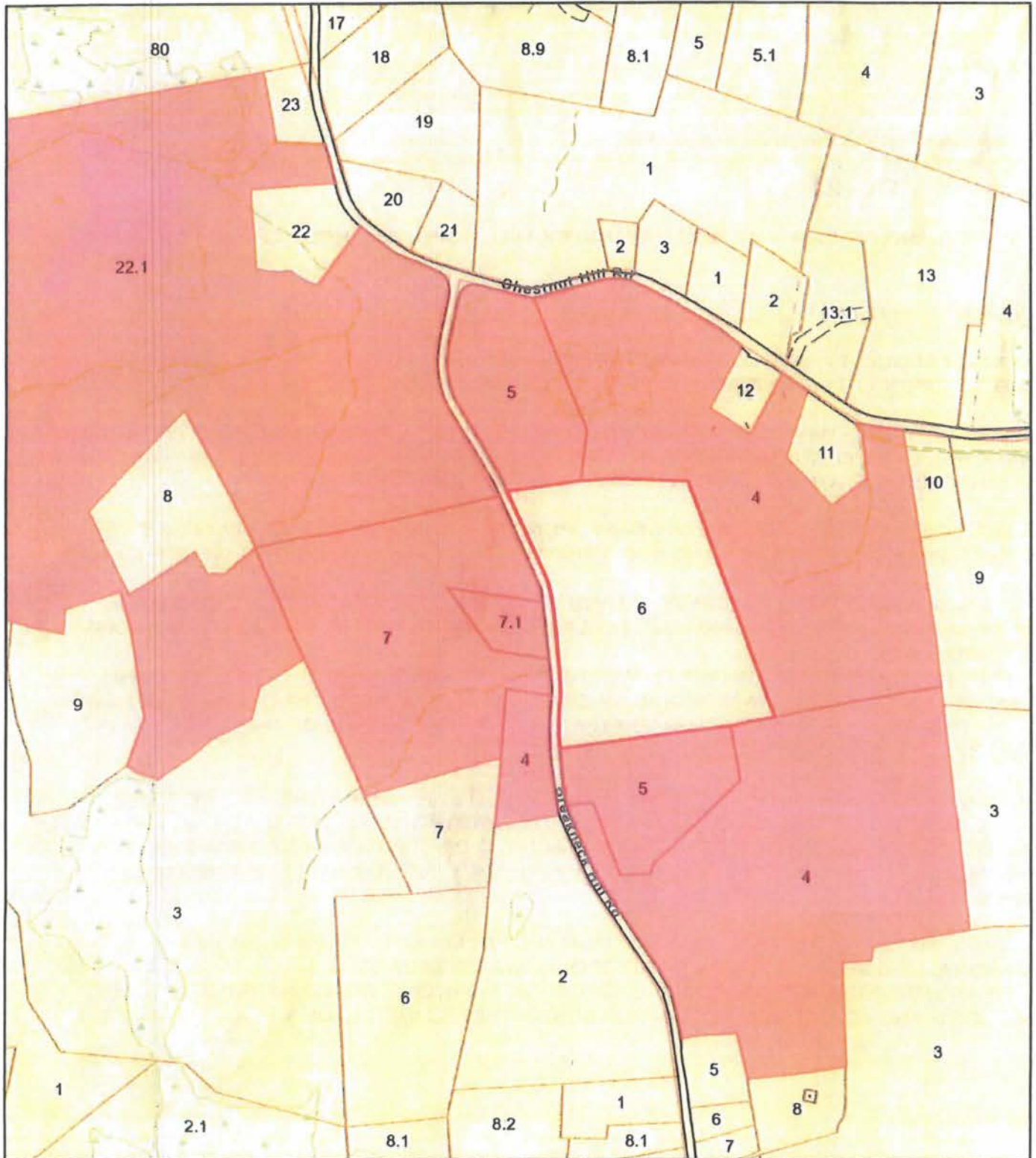
Town of Killingly, CT

1 inch = 600 Feet



www.cai-tech.com

November 2, 2023



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of copy of Applicants notice to adjoining municipality _____

Application #: 23-1577

Date Submitted: 11-1-23

Date of Receipt by Comm.: _____

Fee: 1600-

Staff Initials: _____

KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION APPLICATION

A \$100.00 base fee (or, for a proposed subdivision, \$100.00 per lot, whichever is greater) plus \$40.00 state fee must accompany each application (**Total fee: \$140.00**). **THIS FEE IS NON-REFUNDABLE**. Checks or money orders should be made payable to the Town of Killingly. **Public hearing fee: \$225.00** required in addition to the above fees if a public hearing is required by the commission(s) and not already included.

TO BE COMPLETED BY THE APPLICANT - PLEASE PRINT

Applicant's Name: GAVIN SHERMAN

Day Phone #: 860-335-3674

Evening Phone #: 860-335-3674

Mailing Address: 75 DOYLE ROAD, TOLLAND CT 06084

Owner of Record: NORMA LIRBARI

Mailing Address: 130 RED STONE HILL, PLAINVILLE 06062

Phone #: 860-

Applicant's interest in the land if the applicant is not the property owner: PENDING OWNER UPON PURCHASE

Authorization of property owner: GIVE SIGNED SIGNATURE PAGE

LOCATION OF PROPERTY:

House # and Street: 350 BREAKNECK HILL ROAD

Tax Map Number: _____

Block: _____

Lot: _____

Zoning District: RD

Lot Size: 2.1 AC

Lot Frontage: ± 1,200'

Easements and/or deed restrictions: N/A

PURPOSE:

Provide the purpose and description of the proposed activity, including a list of all proposed regulated activities:

CONSTRUCTION OF A SINGLE FAMILY HOME WITH DRILLED WELL & ON-SITE SEPTIC. DRIVEWAY WILL BE CONSTRUCTED OVER AN EXISTING CART PATH THAT HAS BEEN HISTORICALLY USED TO ENTER THE PROPERTY. IMPROVEMENT OF THE PATH WILL REQUIRE CROSSING OF A SEASONAL STREAM & WETLANDS DISTURBANCE

SITE PLAN*:

Scale 1"=40' showing existing and proposed conditions in relation to wetlands and water courses to include, but not be limited to:

Contours

Buildings

Wells

Driveways

Septic Systems

Drainage Systems (Including Culverts, Footing and Curtain Drains)

Erosion and Sedimentation controls

Wetlands

Watercourses

Areas of Excavation and /or Material Deposit

**Refer to Section 6.0 -- Application Information Requirements and Section 7.0 -- Application Evaluation Criteria of the Killingly Inland Wetlands & Watercourses Commission Regulations for information the Commission may require. Professionally prepared plans (Licensed Land Surveyor/Professional Engineer registered in the State of Connecticut, Soil Scientist) may be required for significant activities.*

ADDITIONAL INFORMATION:

List additional information submitted by the applicant:

List of Activities & Map

WAB Soil Survey

Delineation Report By Joseph Titarov

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly, Killingly Inland Wetlands & Watercourses Commission, and its agent (s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

Applicant's Signature: _____

[Signature] Date: 11/01/23

Owner of Record: *Norma Liebler*

Date: 11/01/23

ON-SITE WETLANDS AND WATERCOURSES:

Windham County wetland soil types and areas of each type: CANTON & CANTON FINE SANDY LOAM,
GLoucester GRAVELLY SANDY LOAM, RIDGEBURY-LEICESTER-WHITMAN SOILS,
WOODBURY FINE SANDY LOAM, SUTTON FINE SANDY LOAM

Watercourse(s) - type (pond, stream, marsh, bog, drainage ditch, etc.), manmade or natural, and area of each:

APPROXIMATELY 7 ACRES OF WOODED WETLANDS

ALTERNATIVES:

List alternatives considered by the applicant and state why the proposal to alter wetlands as set forth in the application is necessary and was chosen:

THE ONLY ALTERNATIVE THAT WOULD RESULT IN A LESSER DISTURBANCE
WOULD BE TO SPAN THE CROSSING. THIS ALTERNATIVE WOULD NOT BE
ECONOMICALLY FEASIBLE OR PRACTICAL FOR A SINGLE-FAMILY HOME

MATERIALS:

Provide the volume (cubic yard) and nature of materials to be deposited and/or extracted:

MITIGATIVE MEASURES:

List measures to be taken to minimize or avoid any adverse impact on the regulated area:

SILT FENCE, STAKED HAYBALES, RIPRAP, CRUSHED STONE
CHECK DAMS

BIOLOGICAL EVALUATION:

Describe the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions:

SEE ATTACHED EVALUATION REPORT PREPARED BY
JOSEPH THEROUX



Connecticut Department of

ENERGY &
ENVIRONMENTAL
PROTECTION

GIS CODE #: _____
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: _____ month: _____
2. ACTION TAKEN (see instructions, only use one code): _____
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): Killingly
does this project cross municipal boundaries (check one)? yes ☐ no ☒
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
6. LOCATION (see instructions for information): USGS quad name: Killingly or number: 44
subregional drainage basin number: _____
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): GAVIN SHERHAN
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 350 BREAKNECK HILL ROAD
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☒ description: CONSTRUCTION OF A SINGLE FAMILY HOME W/ WETLANDS CROSSINGS FOR DRIVEWAY
9. ACTIVITY PURPOSE CODE (see instructions, only use one code): B
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 1 2 12 14
11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: 0.073 acres open water body: 0 acres stream: 40 linear feet
12. UPLAND AREA ALTERED (must provide acres): ± 1.2 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): _____ acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



JOSEPH R. THEROUX

~ CERTIFIED FORESTER/ SOIL SCIENTIST ~
PHONE 860-428-7992~ FAX 860-376-6842
426 SHETUCKET TURNPIKE, VOLUNTOWN, CT. 06384
FORESTRY SERVICES ~ ENVIRONMENTAL IMPACT ASSESSMENTS
WETLAND DELINEATIONS AND PERMITTING ~ E&S/SITE MONITORING
WETLAND FUNCTION AND VALUE ASSESSMENTS

7/14/23

KILLINGLY ENGINEERING ASSOCIATES
P.O. Box 421
DAYVILLE, CT. 06241

RE: WETLAND DELINEATION, 350 BREAKNECK HILL ROAD, KILLINGLY, CT.

DEAR MR. THIBEAULT,

AT YOUR REQUEST I HAVE DELINEATED THE INLAND WETLANDS AND WATERCOURSES ON THE SUBJECT PROPERTY IN AND ADJACENT TO THE PROPOSED DEVELOPMENT AREA.

THESE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY AND THE DEFINITIONS OF WETLANDS AS FOUND IN THE CONNECTICUT STATUTES, CHAPTER 440, SECTIONS 22A-38.

FLUORESCENT PINK FLAGS WITH A CORRESPONDING LOCATION NUMBER DELINEATE THE BOUNDARY BETWEEN THE UPLAND SOILS AND THE INLAND WETLANDS THAT WERE FOUND.

FLAG NUMBERS WF-1 THROUGH WF- 8 AND WF-1 A THROUGH WF-22A DELINEATE THE WESTERN AND EASTERN BOUNDARIES OF A PALUSTRINE FORESTED WETLAND WHICH BISECTS THE PROPERTY.

AN INTERMITTENT WATERCOURSE FLOWS TO THE SOUTH THROUGH THIS WETLAND, AND SMALLER INTERMITTENT WATERCOURSES CONTRIBUTE GROUNDWATER DISCHARGE FLOWS FROM THIS WETLAND INTO THE MAIN WATERCOURSE. ON THE DATE OF THE DELINEATION, (7/13/23), THESE WATERCOURSES WERE FLOWING.

FLAG NUMBERS WF-1 B THROUGH WF-12B DELINEATE ANOTHER FORESTED WETLAND FOUND IN THE NORTHEAST CORNER OF THE PARCEL. THIS WETLAND WAS INUNDATED ON THE DATE OF THE DELINEATION AND WHEN FILLED TO CAPACITY, IT DISCHARGES SURFACE SHEET FLOWS TO THE WEST A SHORT DISTANCE, WHERE THEY INFILTRATE INTO THE WELL-DRAINED UPLAND SOILS.

THESE WETLAND SOILS HAVE FORMED FROM THE PROLONGED WETNESS FROM THE SEASONALLY HIGH WATER TABLES AND GROUNDWATER BREAKOUT. THEY ARE CHARACTERIZED BY THICK ORGANIC "A" HORIZONS, SHALLOW REDOXIMORPHIC FEATURES AND LOW CHROMA COLORS FOUND WITHIN 20 INCHES OF THE SOIL SURFACE.

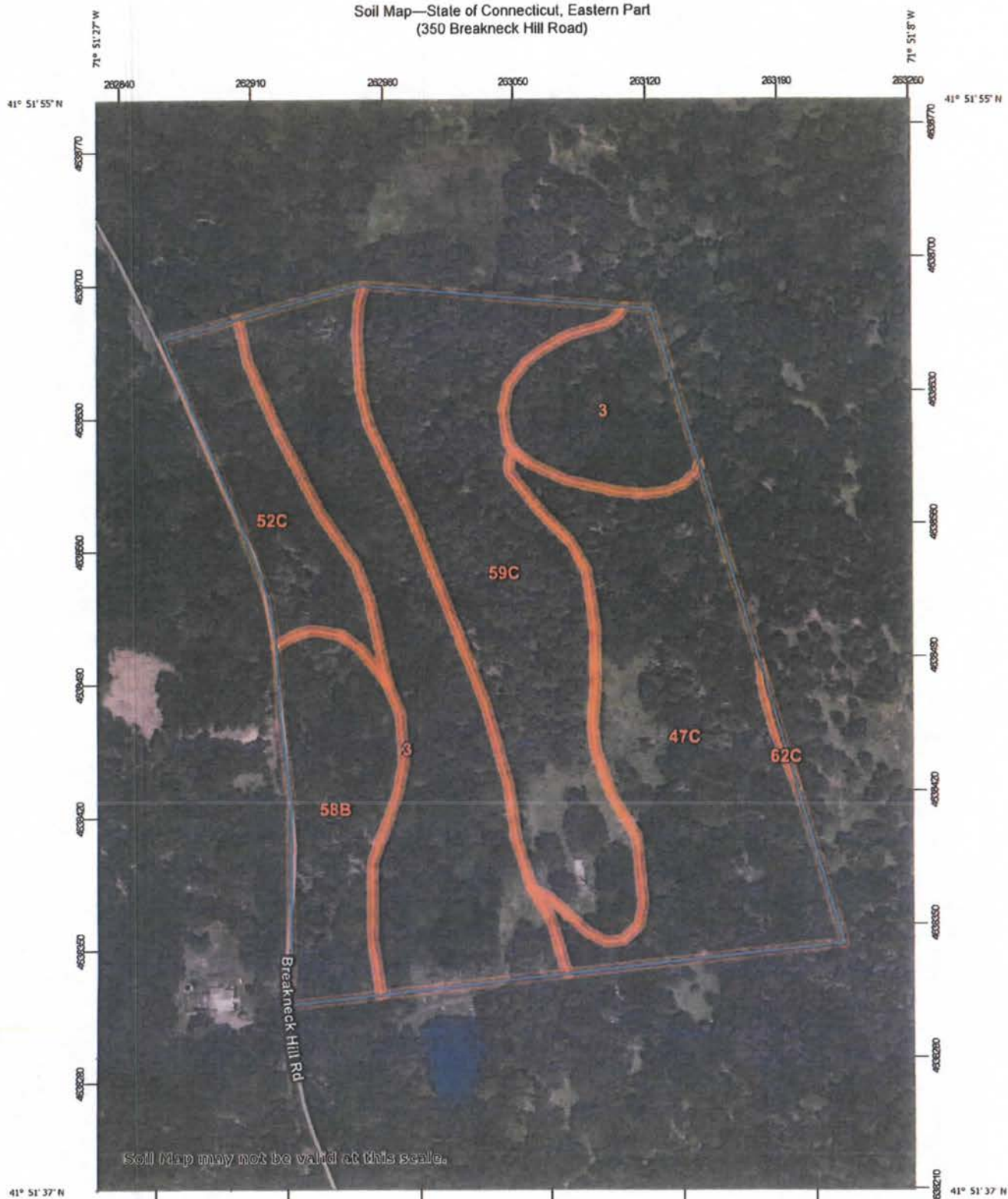
IN CONCLUSION, IF YOU HAVE ANY QUESTIONS CONCERNING THE DELINEATION OR THIS REPORT, PLEASE FEEL FREE TO CONTACT ME.

THANK YOU,

Joseph R. Theroux

JOSEPH R. THEROUX
CERTIFIED SOIL SCIENTIST
MEMBER SSSSNE, NSCSS, SSSA.

Soil Map—State of Connecticut, Eastern Part
(350 Breakneck Hill Road)



Map Scale: 1:2,800 if printed on A portrait (8.5" x 11") sheet.

0 40 80 160 240 Meters

0 100 200 400 600 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 19N WGS84









































Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

11/2/2023
Page 1 of 3

MAP LEGEND

 Area of Interest (AOI)	 Area of Interest (AOI)
 Soils	 Soil Map Unit Polygons
 Soil Map Unit Lines	 Soil Map Unit Lines
 Soil Map Unit Points	 Soil Map Unit Points
 Special Point Features	 Special Line Features
 Blowout	 Streams and Canals
 Borrow Pit	 Transportation
 Clay Spot	 Rails
 Closed Depression	 Interstate Highways
 Gravel Pit	 US Routes
 Gravelly Spot	 Major Roads
 Landfill	 Local Roads
 Lava Flow	 Background
 Marsh or swamp	 Aerial Photography
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Eastern Part
Survey Area Data: Version 1, Sep 15, 2023

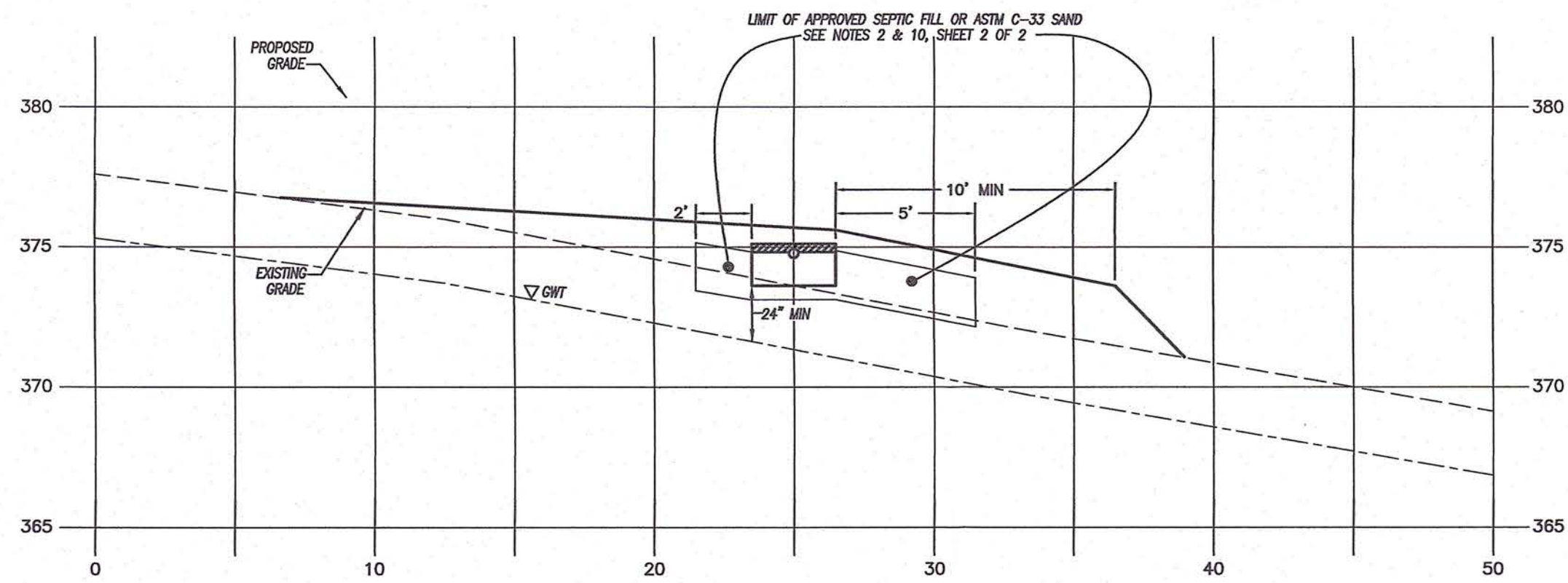
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Jul 1, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Ridgebury, Leicester, and Whitman soils, 0 to 8 percent slopes, extremely stony	7.1	30.4%
47C	Woodbridge fine sandy loam, 3 to 15 percent slopes, extremely stony	5.9	25.5%
52C	Sutton fine sandy loam, 2 to 15 percent slopes, extremely stony	1.9	8.1%
58B	Gloucester gravelly sandy loam, 3 to 8 percent slopes, very stony	2.4	10.4%
59C	Gloucester gravelly sandy loam, 3 to 15 percent slopes, extremely stony	5.9	25.5%
62C	Canton and Charlton fine sandy loams, 3 to 15 percent slopes, extremely stony	0.0	0.1%
Totals for Area of Interest		23.2	100.0%



PERCOLATION TEST RESULT - August 22, 2023 NORTHEAST DISTRICT DEPARTMENT OF HEALTH

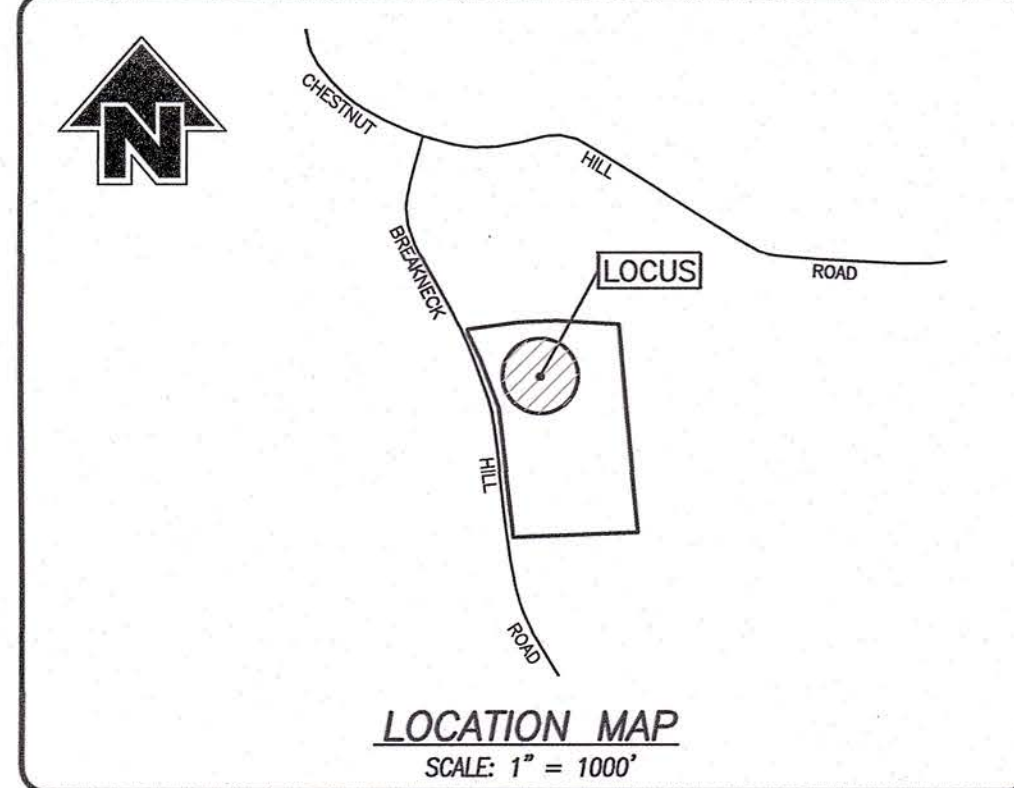
HOLE 1	Depth = 22"	Rate = 3.3 min./in.
Time	Reading	
9:00	1.5"	
9:05	6"	
9:10	8.5"	
9:15	10"	
9:20	11.5"	
9:25	13"	
9:30	14.5"	
9:35	16"	

TEST HOLE DATA - August 10, 2023 Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
1	0"-3"	Topsoil/Organics
	3"-17"	Orange/Brown Loamy Fine Sand
	17"-34"	Tan Loamy Sand
	34"-77"	White/Grey Mottled Sandy Loam
	77"-80"	Groundwater
	Ledge	N/A
	GWT	34"
	Mottling	34"
	Restrictive	34"
	Roots	30"
2	0"-6"	Topsoil/Organics
	6"-14"	Orange/Brown Loamy Fine Sand
	14"-30"	Tan Loamy Sand
	30"-82"	White/Grey Sandy Pan
	Ledge	N/A
	GWT	77"
	Restrictive	30"
	Roots	28"
3	0"-6"	Topsoil/Organics
	6"-14"	Orange/Brown Loamy Fine Sand
	14"-30"	Tan Loamy Sand
	30"-82"	White/Grey Sandy Pan
	Ledge	N/A
	GWT	77"
	Restrictive	30"
	Roots	28"

SEPTIC SYSTEM DESIGN DATA

Percolation Rate	= 3.3 min. / in.
3 bedroom house requires	= 495 s.f. effective leaching area
Effective Leaching area	= 11 s.f. / l.f. of eljen Mantic 536-8
Length Required	= 495/11 = 45 l.f.
Length Provided	= 45 l.f.
Min. Leaching System Spread (MLSS)	= 20 x 1.5 x 1.0 = 30'
MLSS Provided	= 45'
LEACHING FIELD	
One 45' row of Eljen Mantis 536-8 Septic Leaching units (9 units)	
Maximum depth into existing grade	= 4"
Perc. rate faster than 5.0 min. per inch. GW separation increased to 24 in.	



NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;

- This survey conforms to a Class "C" horizontal accuracy.

- Field surveyed topographic features conform to a Class "T-2", "V-2" vertical accuracy.

- LIDAR topographic features conform to a Class "T-D" vertical accuracy.

- Survey Type: General Location Survey.

This map was prepared from record research, other maps, limited field measurements and other sources, it is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.

- Zone = RD.

- Parcel is shown as Lot #6 on Assessors Map #65.

- Owner of record: Estate of Robert Liebler & Norma Liebler
130 Red Stone Hill
Plainville, CT 06062
See Volume 440, Page 82

Applicant: Gavin Sheehan
75 Doyle Road
Tolland, CT 06084

- Elevations shown are based on North American Vertical Datum of 1988 (NAVD 88). Contours shown are taken from Connecticut statewide LIDAR and supplemented with actual field survey. Contour interval = 2'.

- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 7/14/2023.

- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS observations using the "Superior" statewide GPS network and RTK correction system.

- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

MAP REFERENCE:

- "Plan of Land of - Etienne L. & Marie Jeanne Labelle - Near Ballouville Killingly, Conn. - Scale: 1" = 100' - March 1945 - Prepared by: W.K. Pike On file in the Killingly Land Records as Map #363-E."

DATE	DESCRIPTION
	REVISIONS

GENERAL LOCATION SURVEY SEPTIC SYSTEM DESIGN PLAN

PREPARED FOR

GAVIN SHEEHAN

350 BREAKNECK HILL ROAD
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying



114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

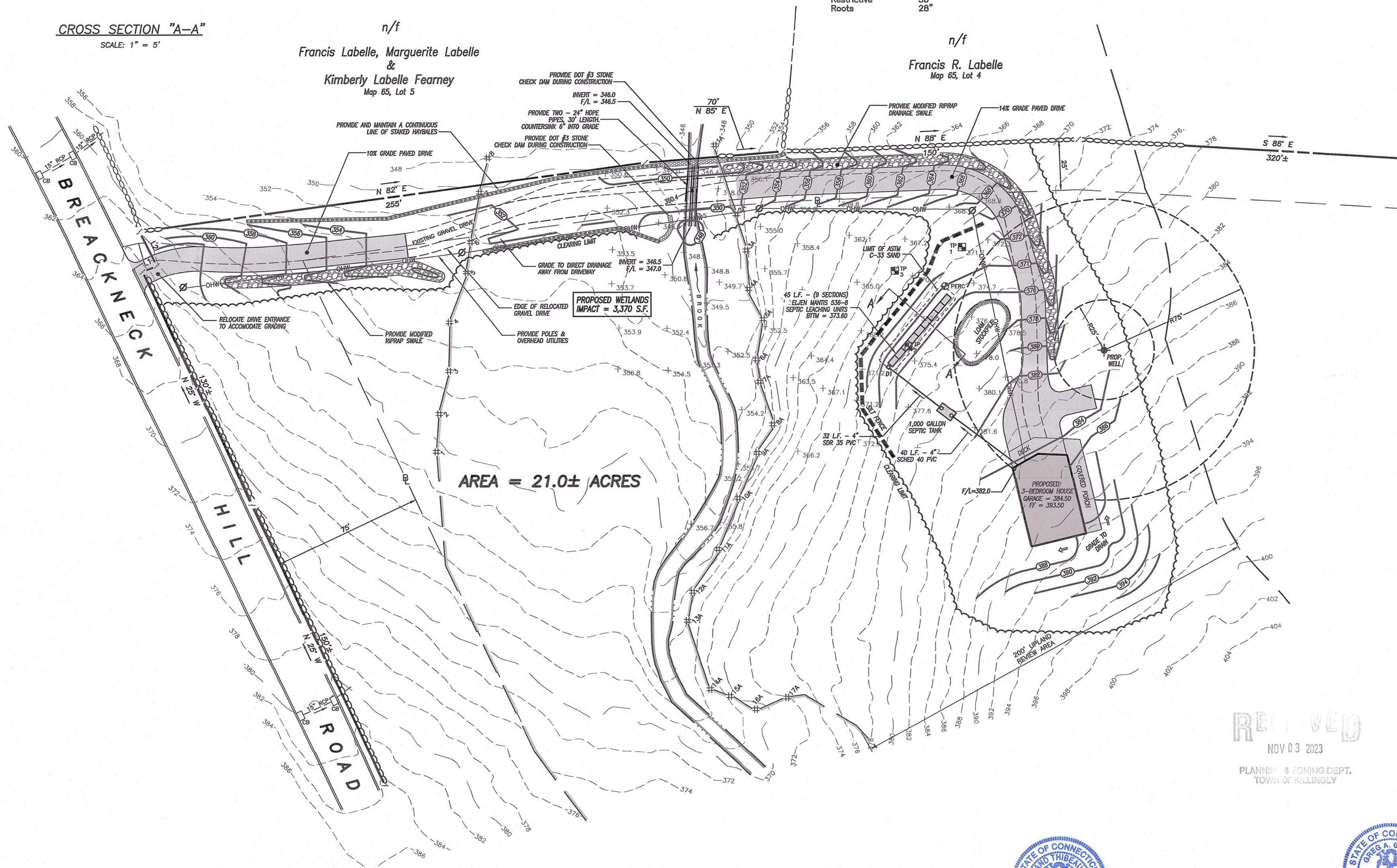
DATE: 11/02/2023	DRAWN: RGS
SCALE: 1" = 30'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 23096

CROSS SECTION "A-A"

SCALE: 1" = 5'

n/f
Francis Labelle, Marguerite Labelle
&
Kimberly Labelle Fearnery
Map 65, Lot 5

n/f
Francis R. Labelle
Map 65, Lot 4



SURVEYOR SHALL SET A BENCH MARK IN THE AREA OF THE SEPTIC SYSTEM AT THE TIME OF CONSTRUCTION STAKE-OUT.

SEPTIC TANK
1000 GALLON
TWO COMPARTMENT
F/L IN = 377.75
F/L OUT = 377.50
DISTRIBUTION BOXES
D-1 (STANDARD)
F/L IN = 374.77
F/L OUT = 374.60

LEGEND

F.F.	FINISHED FLOOR
Ø	UTILITY POLE
100	EXISTING CONTOURS
100	PROPOSED CONTOURS
#	INLAND WETLANDS FLAG
□	BUILDING SETBACK LINE
⊕	PERCOLATION TEST HOLE
⊕	TEST HOLE
○	STONE WALL
---	SILT FENCE

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.

THE APPLICANT WILL CONTACT THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION'S AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.

APPROVED BY THE TOWN OF
KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN

DATE

LINE	BEARING	DISTANCE
L1	N 68° E	7.8±
L2	N 27° W	19±



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE: 11-02-2023

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

SEPTIC SYSTEM CONSTRUCTION NOTES

- The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
- Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
 - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

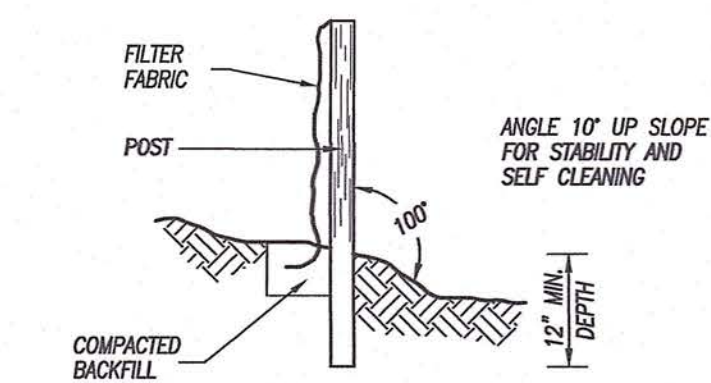
GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% - 100%	70% - 100%
No. 40	10% - 50%	10% - 75%
No. 100	0% - 5%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of five feet (5') around the perimeter of the system. Common fill shall extend on additional five feet (5') down gradient of the system (10' total) before tapering off at a maximum slope of 2H:1V.

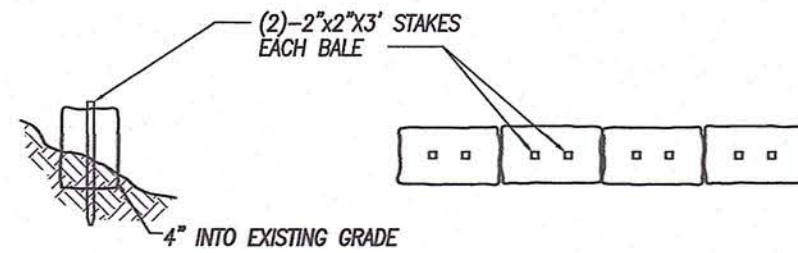
- Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
- Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.
- All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.
- Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasket joints. It shall be laid true to the lines and grades shown on the plans and in no case have a slope less than 0.125 inches per foot.
- Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 or ASTM F1760 for SDR 35, or ASTM F810 for SDR 38.
- Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.
- Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.
- Septic sand shall meet the requirements of ASTM C-33 with less than 10% passing a 100 sieve and less than 5% passing a 200 sieve

SIEVE SIZE	% PASSING
0.375	100
#4	95-100
#8	80-100
#16	60-85
#30	25-60
#50	10-30
#100	<10
#200	<5



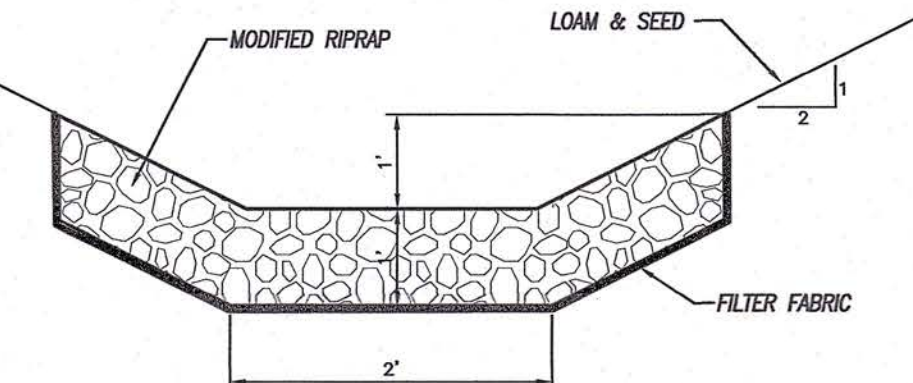
SILT FENCE

NOT TO SCALE



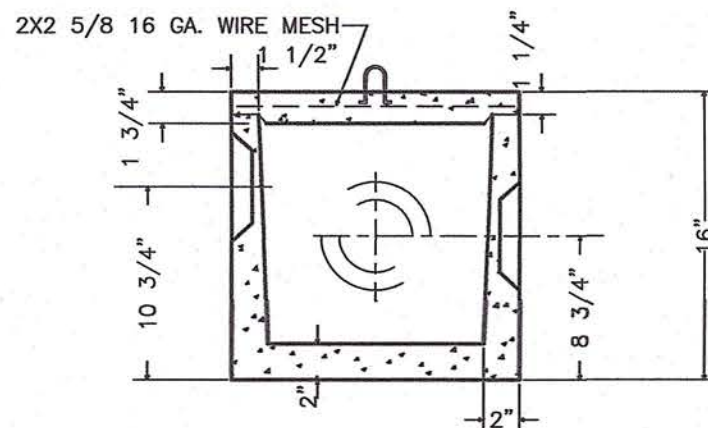
HAYBALE BARRIER

NOT TO SCALE



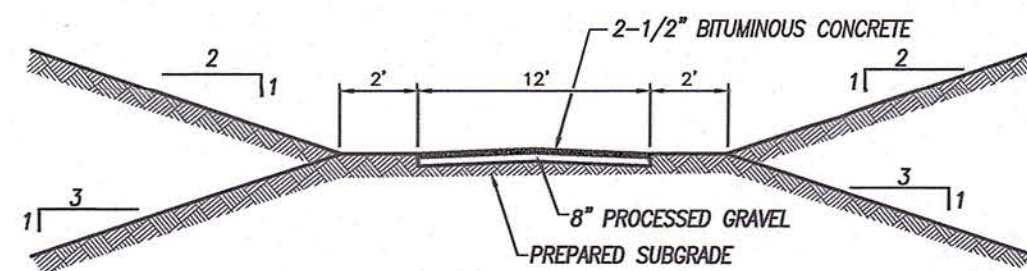
MODIFIED RIPRAP SWALE

NOT TO SCALE



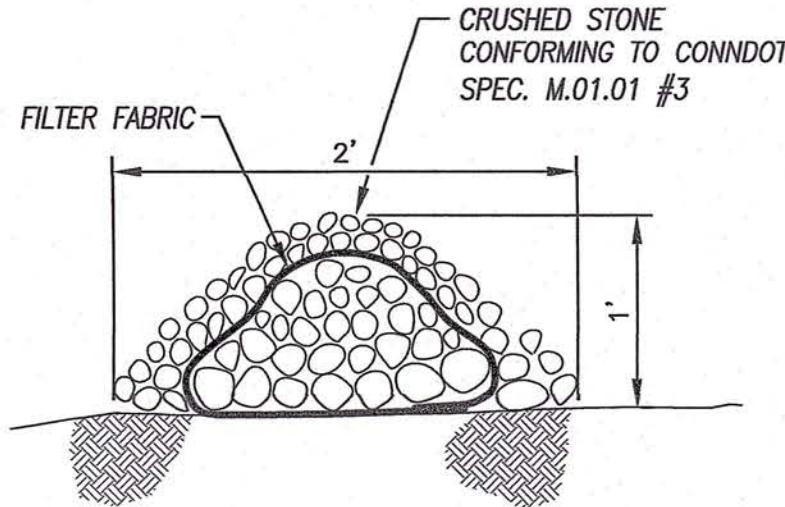
STANDARD D-BOX

NOT TO SCALE



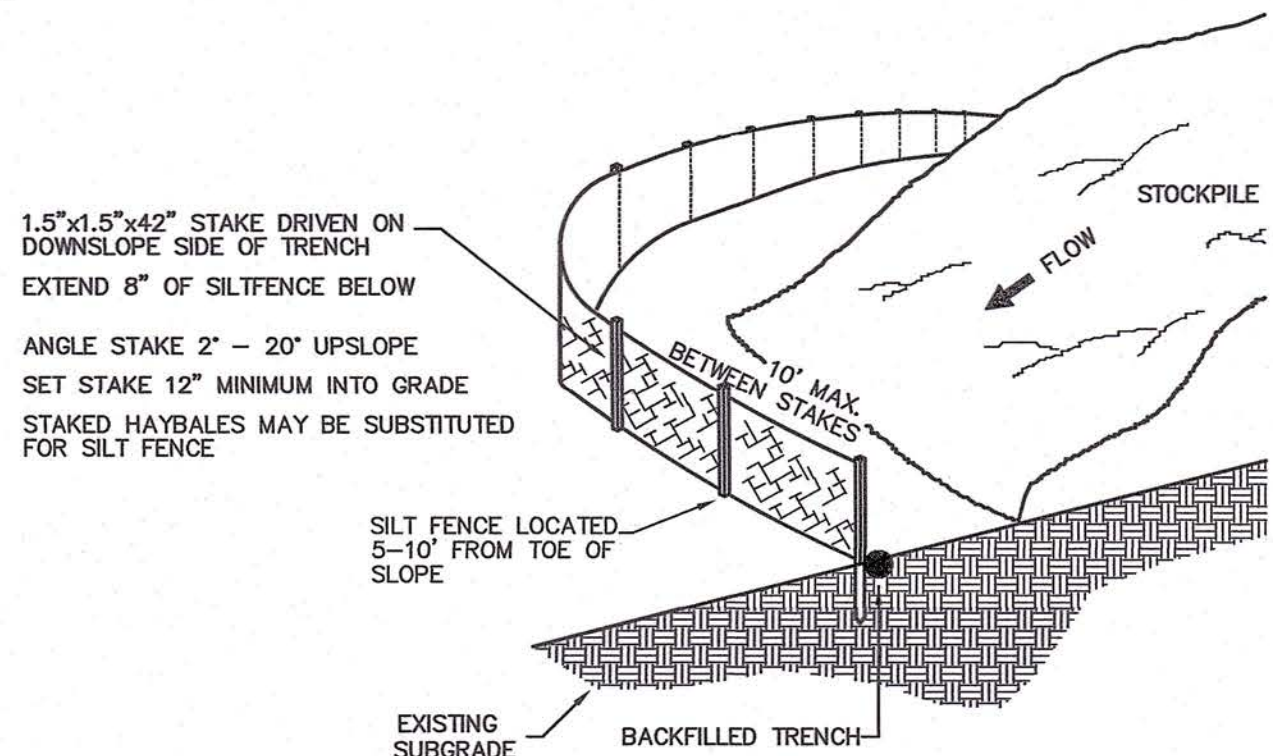
PAVED DRIVE DETAIL

NOT TO SCALE



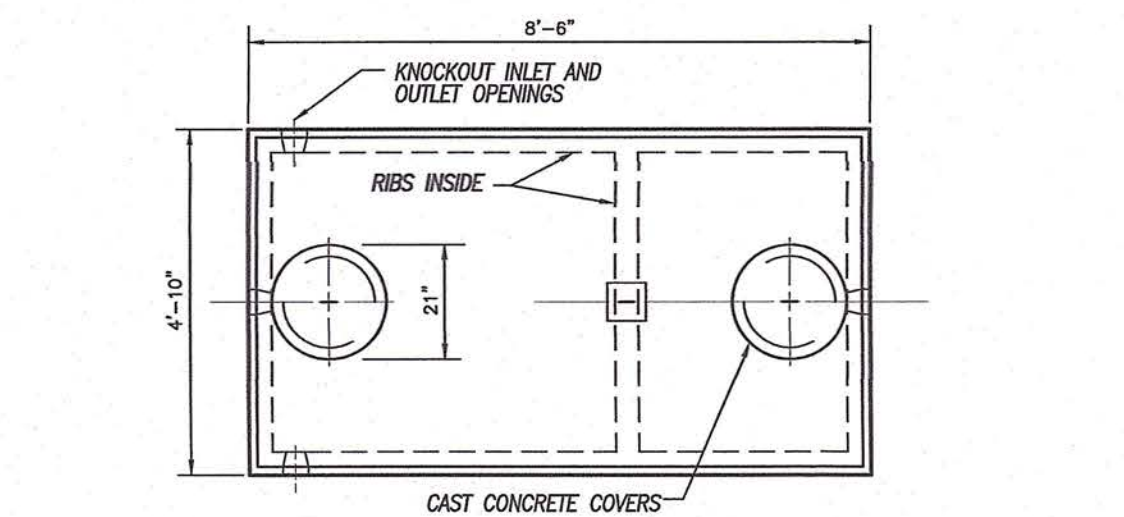
STONE CHECK DAM

NOT TO SCALE



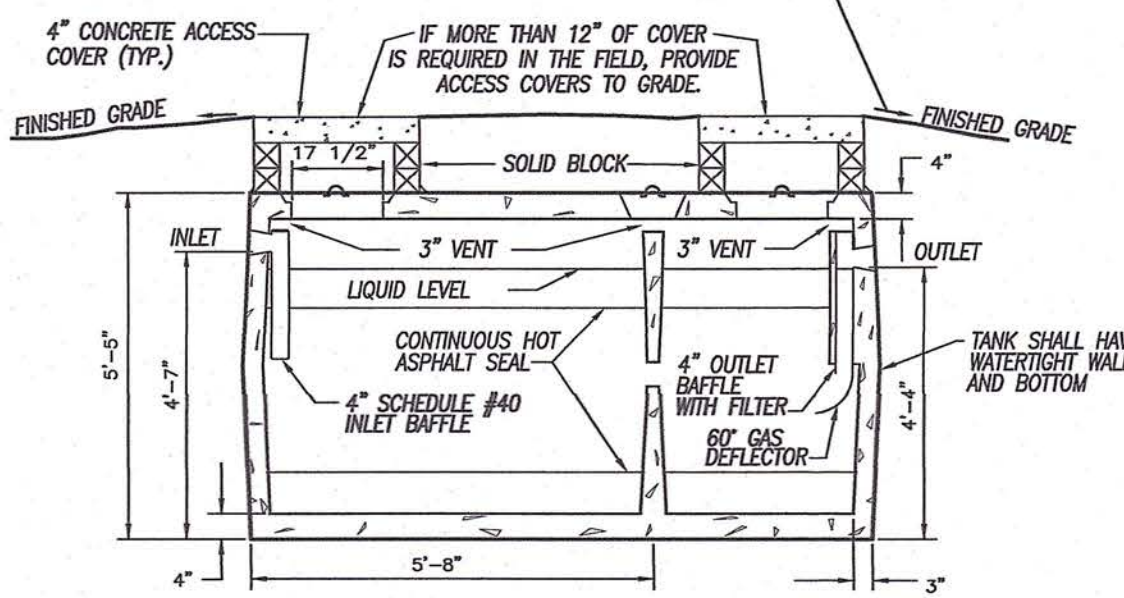
SILT FENCE @ TOE OF SLOPE APPLICATION

NOT TO SCALE



PLAN

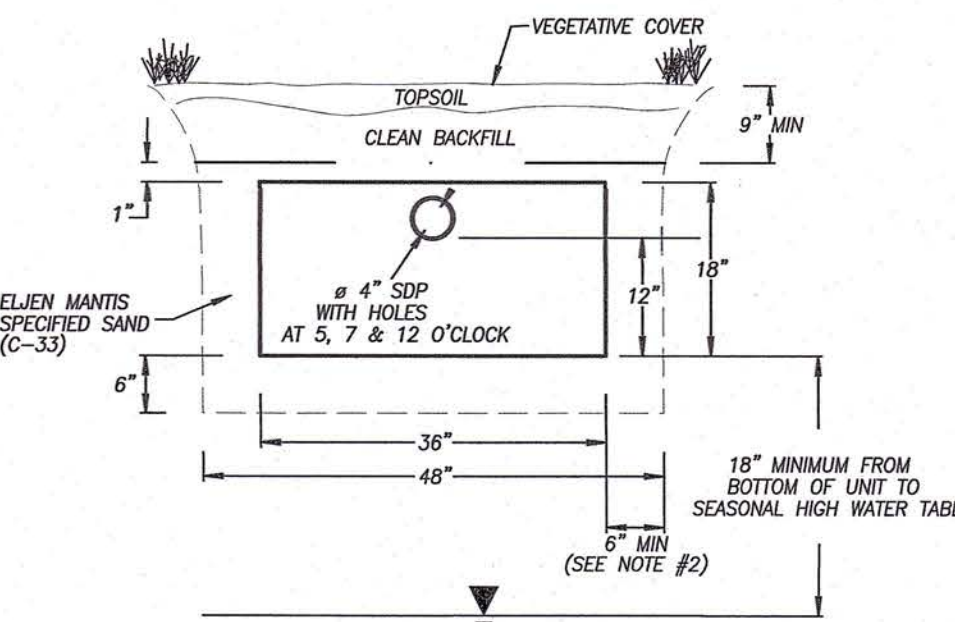
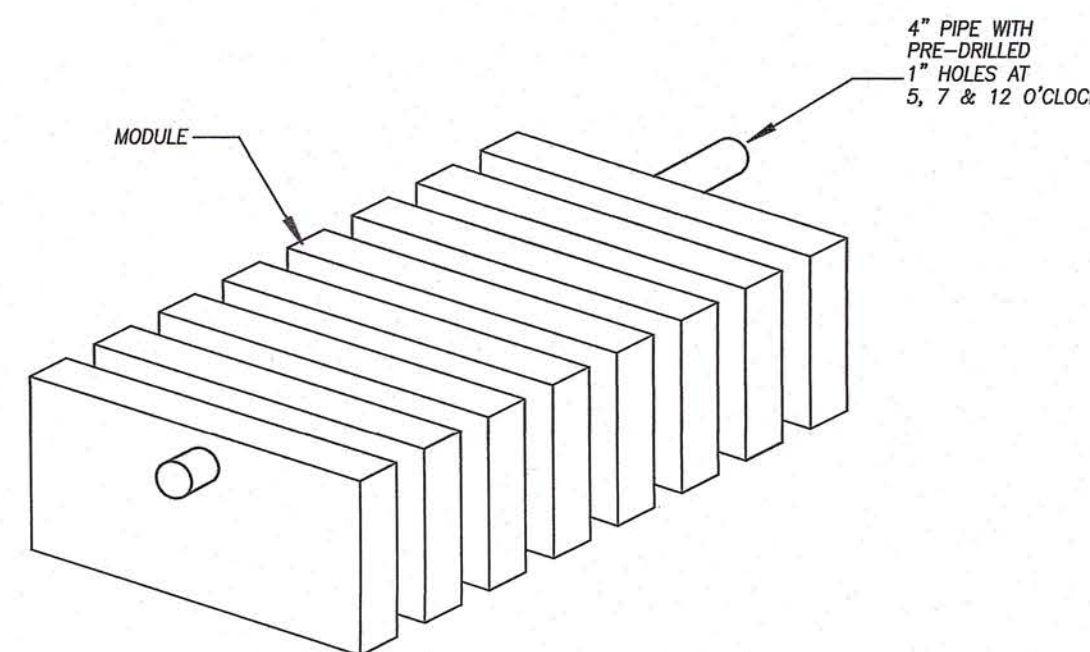
PROVIDE POSITIVE GRADE AWAY FROM MANHOLE COVER TO PREVENT GROUNDWATER FROM ENTERING CHAMBER



CROSS SECTION

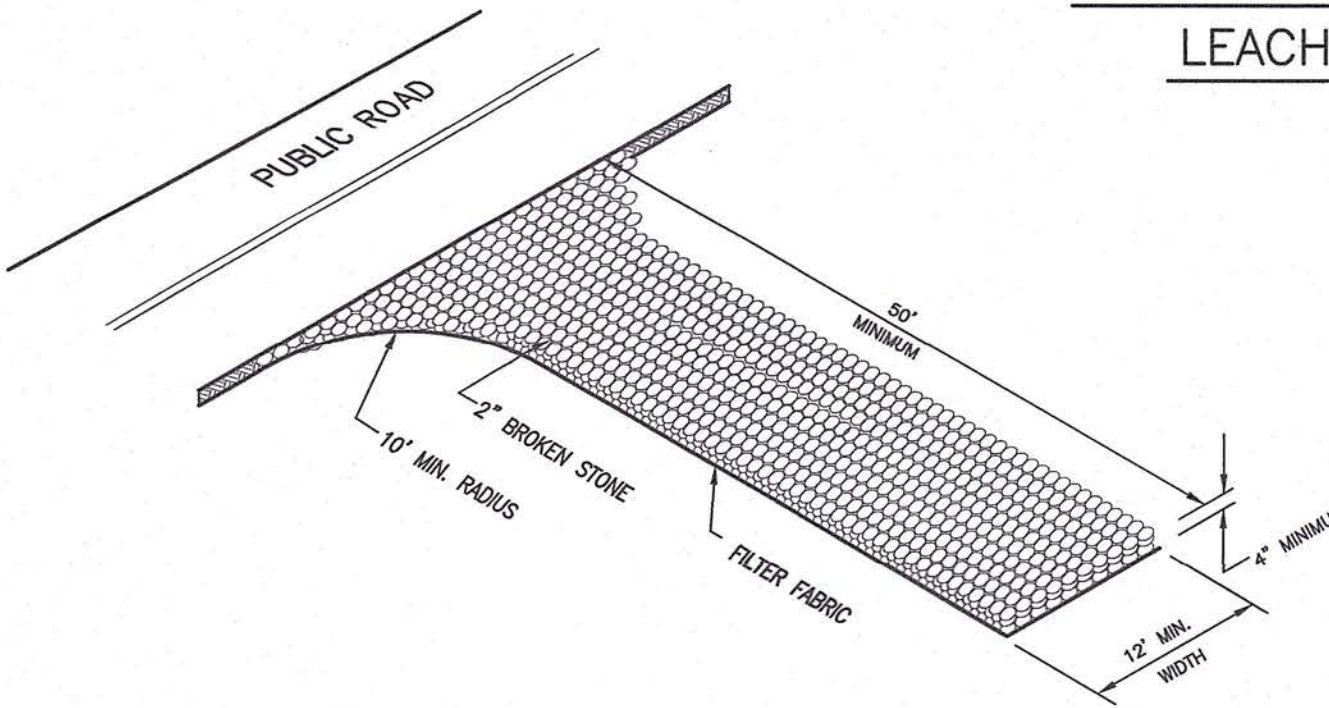
1000 GALLON
2 COMPARTMENT
SEPTIC TANK

NOT TO SCALE



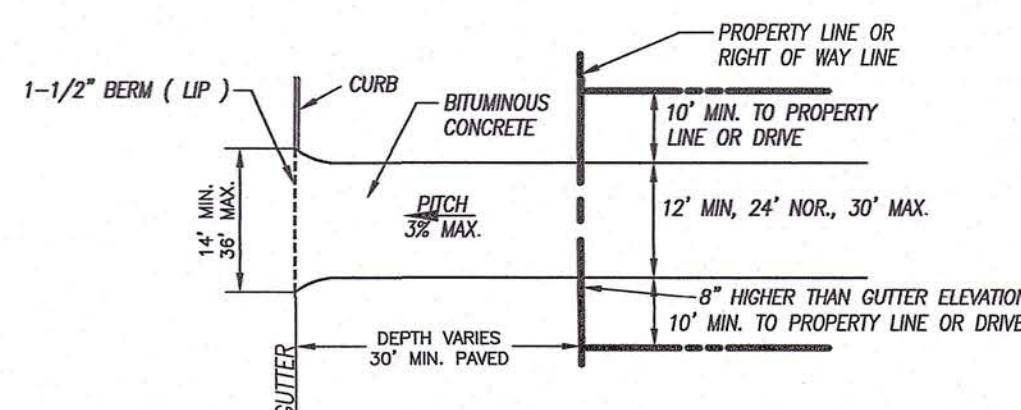
- NOTES:
- VENTING REQUIRED WHEN MORE THAN 18" OF COVER IS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE.
 - FOR SYSTEMS INSTALLED IN FILL, CONTRACTOR SHALL PROVIDE 5' OF SELECT FILL OR ASTM C-33 SAND 5' AROUND PERIMETER OF SYSTEM.

ELJEN 536-8 WASTEWATER
LEACHING SYSTEM

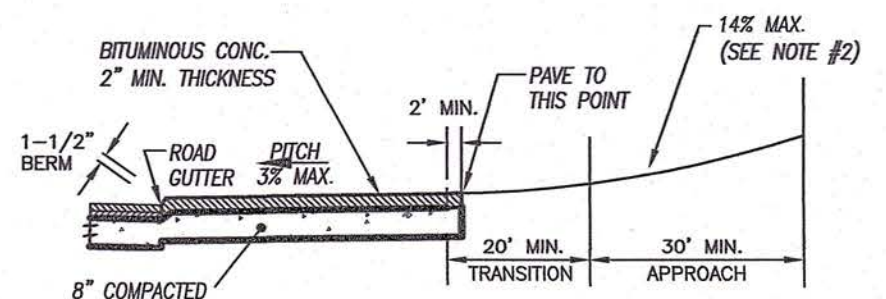


ANTI-TRACKING PAD

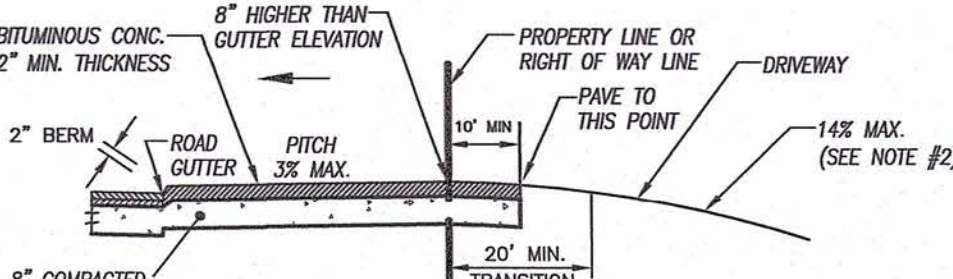
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PLAN VIEW



LAND ABOVE ROAD
(SECTION)



LAND BELOW ROAD
(SECTION)

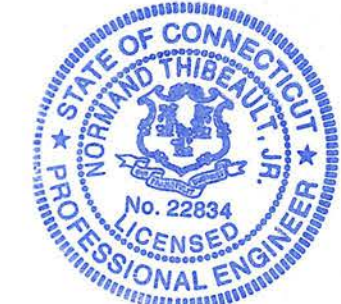
- THE ABOVE DETAIL IS ILLUSTRATIVE ONLY AND DOES NOT APPLY TO EVERY SITUATION. REVIEW YOUR DRIVEWAY PERMIT FOR YOUR SPECIFIC REQUIREMENTS.
- DRIVEWAYS IN EXCESS OF 10% GRADE, AND ALL COMMON (SHARED) DRIVEWAYS SHALL BE PAVED WITH BITUMINOUS CONCRETE.

STANDARD DRIVE DETAIL

NOT TO SCALE

RECEIVED
NOV 03 2023

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY



Norman Thibault, Jr. 11/03/2023
NORMAN THIBAUT, JR., P.E. No. 22834 DATE

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.

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APPROVED BY THE TOWN OF
KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

DATE	DESCRIPTION
	REVISIONS

DETAIL SHEET

PREPARED FOR

GAVIN SHEEHAN

350 BREAKNECK HILL ROAD
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying

114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 11/02/2023	DRAWN: RGS
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 2 OF 2	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 23096



View South - Towards Fall Brook



View South - Towards Fall Brook



View South - Towards Fall Brook



View South East





View South



View North West - Fall Brook to the left Approx. 60'



View North



View South - Towards Fall Brook



View South East









Approximate amount of solid waste removed (per receipts)

-4180 lbs of tires

-7140 lbs of metal

-(9) 30 yard dumpsters

-82.58 tons (approx.)



TOWN OF KILLINGLY

PLANNING & DEVELOPMENT OFFICE

172 Main Street, Killingly, CT 06239
Tel: 860 779-5311 Fax: 860 779-5381

For Recording Purposes Only

Party 1: Kurt Meyer
Party 2: Kristopher Meyer
Party 3: Town of Killingly / IWWC
Type Doc: **LR / Release**
Add'l Description: 64 & 80 Mashentuck Road
GIS Map 183, Lots 13.1 & 13.

Receipt # 107817 Instr # 2023-02313



VOL 1417 PG 91
11/02/2023 01:36:18 PM
1 Pages
RELEASE
TOWN OF KILLINGLY
Elizabeth M. Wilson, Town Clerk

RELEASE

OF

NOTICE OF VIOLATION /

CEASE & DESIST ORDER

I, Jonathan Blake, Killingly Authorized Wetlands and Watercourses Enforcement Agent / Planner 1 / Zoning Enforcement Officer, hereby Release the Notice of Violation / Cease & Desist Order, dated April 21, 2023, and filed in the Town Clerk's Office on August 29, 2023, in volume 1415 at page 123, as the order was complied with.

Said compliance was done by the removal of the solid waste dumped in and near wetlands identified in said order. Delineation of nearby wetlands by a Certified Professional Soil Scientist (Joseph R. Theroux) on October 2, 2023. The impacted area has been cleared of all visible solid waste and was seeded with a conservation seed mix to prevent erosion.

The scope of the above-mentioned order and this release relates only to the solid waste that was identified having been dumped in and near the wetlands. It does not cover any other materials or solid waste, whether known or unknown, that may exist at the time of this release or relate to any other violation of federal, state or municipal law, known or unknown.

Signed this 02 day of November, 2023.

Jonathan Blake
Killingly Authorized Wetlands and Watercourses Enforcement Agent
Planner 1 / Zoning Enforcement Officer

Visit us at: www.Killinglyct.org.

This institution is an equal opportunity provider and employer.