



**TOWN OF KILLINGLY
INLAND WETLANDS AND WATERCOURSES COMMISSION**

Monday, February 7, 2022

Regular Meeting – Hybrid Meeting

7:00 PM

Second Floor – Town Meeting Room

Killingly Town Hall

172 Main Street

Killingly, CT

AGENDA

Public can also view this meeting on Facebook Live.

Go to www.killinglyct.gov and click on Facebook Live at the bottom of the page.

RECEIVED
TOWN CLERK, KILLINGLY, CT
2022 FEB -3 PM 4:36
Elizabeth M. Quinn

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **ADOPTION OF MINUTES – (Review/Discussion/Action)**
 - A. **January 3, 2022, Regular Meeting Minutes**
- IV. **CITIZENS' PARTICIPATION** – Public comment can be emailed to publiccomment@killinglyct.gov or mailed to Town of Killingly, 172 Main Street, Killingly, CT 06239 on or before the meeting. All public comment received prior to the meeting will be posted on the Town's website www.killinglyct.gov.
- V. **Unfinished Business: – (Review/Discussion/Action)**
 - A. **Application 21-1538 of Tammy Rainville & Robert LaBonte** for redevelopment of existing agricultural property for residential use. Demolish existing barn and construct 2-bedroom single family home in the former barn's location. Also construct a detached garage with 900 sq ft accessory apartment, new driveway, private septic, well and associated site grading and E&S controls within 200' upland review area; 146 Pineville Road; Map ID 1679, Alt ID 18-23; Rural Development Zone / Five Mile River Overlay District.
 - B. **Application 21-1540 of Fall Brook Investments LLC (Brian Meehan)** for construction of a single-family residence & garage with associated well, septic & drive within the 200' upland review area; 43 Fallbrook Road; Map ID 8783, Alt ID 221-12; Rural Development Zone.
- VI. **New Business: (listed in order of receipt) – (Review/Discussion/Action)**

If the application is complete the Commission shall decide if a public hearing and/or site walk should be held on each application and continue further action until next month's meeting. The Commission may also delegate to its duly authorized agent.

 - A. **Application 21-1541 of Scott Person** for jurisdictional ruling, a selective timber harvest of 188 acres (400,000 board feet) of approximate 215 acres, trees above 14" DBH, project includes 3 wetland crossings; 195, 241, 261, 275, 309, 333 & 351 Breakneck Hill Road; Map ID 9813, 7802, 5063, 9814, 5064, 5062 & 7803; Alt ID 91-2.1, 79-4, 79-1, 78-6, 78-3, 65-7 & 65-9 ; Rural Development Zone.
- VII. **Correspondence to the Commission**

VIII. Staff Report

A. Authorized Agent Applications

1. **Application 21-1539 of Square 1 Building Associates** for demolition of existing cottage and construction of new single-family residence with attached two car garage (29' x 61' footprint including deck & stoop), public sewer, and private well within 200' upland review area; 7 Lawton Lane; Map ID 3065, Alt ID 87-34; Rural Development Zone / Alexander Lake Overlay District.
2. **Application 22-1542 of Bluestone Meadow Properties LLC** for construction of a single family residence, septic system, and private well within 200' upland review area; 54 Breakneck Hill Road; Map ID 4401, Alt ID 116-15; Rural Development Zone.

B. Monthly Zoning/Wetlands Report

C. Other

IX. Town Council Liaison

X. Adjournment

TOWN OF KILLINGLY
INLAND WETLANDS AND WATERCOURSES COMMISSION (IWWC)
Killingly Town Hall
172 Main Street
Danielson, CT
REGULAR MEETING MINUTES
Monday, January 3, 2022 7:00 PM

This meeting was held in person and virtual with connections via live stream and video conferencing.

I. Call to order: Chairman Sandy Eggers called the meeting to order at 7:00 p.m.

Members Present: Chairman Sandy Eggers, Vice Chairman Rodney Galton, Deborah Lamiotte, Fred Ruhlemann & Corina Torrey. **Also Present:** Jonathan Blake, Town Planner/Zoning Enforcement Officer.

II. Adoption of Minutes:

A. November 1, 2021 Regular Meeting:

MOTION #1 (01.03.22): made by Fred Ruhlemann **SECONDED BY** Deborah Lamiotte that the Inland Wetlands and Watercourses Commission table meeting minutes of November 1, 2021 to the next regular meeting.
VOICE VOTE: UNANIMOUS;

MOTION CARRIED

RECEIVED
TOWN CLERK
KILLINGLY, CT
2022 JAN 11 AM 9:19
Eggers, S. Torrey, C.

III. Citizens' Participation: NONE

IV. Unfinished Business: NONE

V. New Business:

A. Application #21-1538, Tammy Rainville & Robert LaBonte for development of existing agricultural property for residential use. Demolish existing barn and construct 2-bedroom single family home in former barn's location. Also construct a detached garage with 900 sq. ft. accessory apartment, new driveway, private septic, well and associated site grading and E&S within 200' of upland review area; Located at 146 Pineville Road; Map ID 1679; Alt ID 18-23 Rural Development Zone / Five Mile River Overlay District

APPLICANT / PRESENTATION: Damian Sorrentino, AICP, C.S.S., Boundaries Inc., provided a brief history of the property.

SITE PLAN REVIEW: Site Plan drawings were reviewed as presented. It was noted, a previous development plan dated 2007 was found and used as a reference. Mr. Sorrentino discussed wetland flag locations throughout the site. There are parts of the property that are significantly wet and drenched at times. Past construction activities involved removal of major rocks leaving large gap situations underneath existing top soil. Therefore, it was determined these drenched pockets appear to have been man-made. Test pit locations are also in this area and have contributed to the gaps. It has been determined, these pre-existing very wet areas are considered a hazard for the homeowner either using equipment or walking in and around this area. We would like to eliminate this safety concern by design. This application requires regulated activities with the proposal including removal of soils in these drenched and gapped areas a more suitable and solid material. All proposed improvements are within 100 ft. of wetlands with the exception of the sewer system.

STORMWATER: There is considerable storm water entering this site from Plainville Road and is reasonably manage by the Town with associated piping and catch basin system. With this project, we are proposing to re-route piping during construction to better manage storm water flow through this property. We will provide all easements to allow the Town access in this area. Mr. Sorrentino provided a comprehensive reviewed of the erosion and sedimentation control systems plan.

IWWC COMMENTS: Members discussed the fact there is a considerable amount of activities involved with this project that greatly affect and generate considerable wetland concerns. It appears a large portion of this property is not able to be developed; however, it meets zoning.

STAFF COMMENTS: Jonathan Blake noted this is a pre-existing, lot of record, and PZC does allow this proposal.

Rodney Galton noted he is professionally connected with Boundaries. IWWC agreed Mr. Galton's would not be adverse to the decision process, and therefore, will be included in any action taken.

MOTION (01.03.22): made by Rodney Galton **SECONDED BY** Fred Ruhlemann that the Inland Wetland and Watercourses Commission accept Application #21-1538, Tammy Rainville & Robert LaBonte with no site walk or public hearing

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

- B. Application #21-1540, Fall Brook Investments LLC (Brian Meehan)** for construction of a single-family residence & garage with associated well, septic & drive within the 200' upland review area, 43 Fallbrook Road; Map ID 8783, Alt ID 221.-22; Rural Development Zone

STAFF COMMENTS: Jonathan Blake noted this application was part of a previous sub-division and plans as submitted have changes. The applicant has not submitted new wetlands delineations, nitrogen calculations, or NDDH approval.

MOTION (01.03.22): made by Rodney Galton **SECONDED BY** Corina Torrey that the Inland Wetland and Watercourses Commission accept **Application #21-1540, Fall Brook Investments LLC (Brian Meehan)** with no site walk or public hearing

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

VI. Correspondence to the Commission: NONE

VII. Staff Report:

A. Authorized Agent Approval:

- Application #21-1539, Square 1 Building Associates:** for demolition of existing cottage and construction of new single-family residence with attached two car garage (29 X 61; footprint including deck & stoop), public sewer, and private well within 200' upland review area; 7 Lawton Lane; Map ID 3065, Alt ID 87-34; Rural Development Zone / Alexander Lake Overlay District.

STAFF COMMENTS: Jonathan Blake noted a site plan has been submitted. The footprint for this proposal is not being increased. It is known there is a 35 ft. height restriction for structures in the Alexanders Lake District. The applicant will need to submit additional topographical maps, elevation details, and details on stone wall including re-grading. After reviewing this additional information it is determined this is a significant activity the applicant will be asked to come back to IWWC.

B. Monthly Zoning/Wetlands Report: N/A

C. Other: N/A

VIII. Town Council Liaison: N/A

IX. Adjournment:

MOTION (01.03.22): made by Rodney Galton **SECONDED BY** Corina Torrey that the Inland Wetland Watercourses Commission adjourns the meeting at 7:54 PM.

VOICE VOTE: UNANIMOUS;

MOTION CARRIED

Respectfully submitted,
Sherry Pollard,
 IWWC Recording Secretary

STAFF REPORT

GENERAL INFORMATION: IWWC Application #21-1538

REQUEST: Application 21-1538 of Tammy Rainville & Robert LaBonte for redevelopment of existing agricultural property for residential use. Demolish existing barn and construct 2-bedroom single family home in the former barn's location. Also construct a detached garage with 900 sq ft accessory apartment, new driveway, private septic, well and associated site grading and E&S controls within 200' upland review area; 146 Pineville Road; Map ID 1679, Alt ID 18-23; Rural Development Zone / Five Mile River Overlay District.

PURPOSE: Applicant is looking to construction a single-family house with a detached in law apartment / garage. Lot features a run-down barn which will be demolished.

APPLICANT: Tammy Rainville & Robert LaBonte

OWNER: Tammy Rainville

PARCEL ID: Map ID 1679, Alt ID 18 – Lot 23

LOCATION: 146 Pineville Road

ZONING: Rural Development Zone / Five Mile River Overlay District

REPORT BY: Jonathan Blake, Planner / Zoning Enforcement Officer

SUMMARY: The applicant is looking to develop the only portion of the property that is not wetlands or part of the 100-year flood zone. Since the last meeting the Applicant has provided documentation from the Northeast District Department of Health. The Town Engineer has submitted comments for both IWWC and PZC (as the project is also under site plan review, delegated to the Director of Planning & Development from the Planning & Zoning Commission).

REGULATION:

For subsurface sewage disposal system, tank, leach field, dry well, chemical waste disposal system, manure storage area, or any other pollution source

100' – inland wetlands, watercourses, rivers and perennial streams.

50' – wetland pockets and intermittent streams

(Section 6.3, Town of Killingly Regulations for the Protection and Preservation of Inland Wetlands and Watercourses (Killingly IWWC Regulations).

Killingly Inland Wetlands & Watercourse – February 7, 2022, Regular Meeting

50' – Single and two-family residential structures

75' – Other main-use buildings or structures

100' – Accessory structures housing animals

50' – Other accessory structures

25' – Other accessory structures less than 150 square feet in size

25' – No disturbance wetland buffer

Separation distances listed above may be increased by the Commission if deemed necessary for the protection and preservation of the natural and indigenous character of the wetlands and/or watercourses system and riparian corridors due to site specific factors such as topography, slope, soil type, presence of rare, endangered and/or species of concern, unique or uncommon habitats, etc.

(Section 6.3, Killingly IWWC Regulations).

At any time during the review period, the Agency may require the applicant to provide additional information about the regulated area or regulated activity which is the subject of the application, or the wetlands or watercourses affected by the regulated activity. Requests for additional information shall not stay the time limitations as set forth in Subsection 11.2 of these regulations.

(Section 8.7, Killingly IWWC Regulations).

RECOMMENDATION:

Staff is requesting the Commission review the application as it has been submitted, and listen to testimony provided by the applicant, agent, and experts. See the attached memo dated 1/31/2022 from the Town Engineering Department – please consider all comments as conditions.



Town of Killingly

Engineering Department
172 Main Street, Killingly, CT 06239
Phone 860-779-5360 Fax 860-779-5326

MEMORANDUM

TO: John U. Faulise Jr., L.S., Boundaries LLC
FROM: David Capacchione, Town Engineer; Gary Martin, Assistant Town Engineer
DATE: January 31, 2022
RE: Tammy Rainville & Robert LaBonte 146 Pineville Road- Dayville, Ct
CC: Ann Marie Aubrey Director of Planning and Development, Jill St Clair, Director Economic Development, Jonathan Blake, Planner I, & Zoning Enforcement Officer; file

The Town Engineering department has received the following information for the subject project at our office through January 24, 2022:

Item 1:

Set of three (3) drawing(s) entitled Improvement Location & Topographic Survey " Subsurface Sewage Disposal System (SSDS) Design Plan": prepared for Tammy Rainville & Robert LaBonte 146 Pineville Road Dayville Killingly, Connecticut prepared by Boundaries LLC 179 Pachaug River Drive, Griswold, Ct 06351.

We have reviewed the item(s) listed above and have the following comments pursuant to the Inland Wetland & Planning and Zoning Commissions:

Comments:

1. Please change the catch basin tops on Pineville Road type "C-G" to type " C " also pave a swale from the existing road to the proposed catch basins.
2. Please change the 15" HDPE pipe on the edge of Pineville Road in the Town ROW to 15" R.C.P.
3. Please relocate on plan the sediment fence barrier to the uphill side of the inland wetland (Possible Bury Pit).
4. Please change the driveway apron detail to the Town standard driveway detail we can provide it to you in auto-cad just let us know what release you need it in so we can e-mail it to you.

Please contact the Town of Killingly Engineering Office at (860) 779-5360 if you have any questions or need additional information. We will be happy to meet with you to discuss the above referenced project. Or e-mail gmartin@killinglyct.gov

Thanks
Gary Martin

21-001348

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of Applicants notice to adjoining municipality _____

Application #: 21-1538

Date Submitted: 12/9/2021

Date of Receipt by Comm.: _____

Fee: \$160.00 - pd: Check

Staff Initials: AMA # 70621

KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION APPLICATION

A \$100.00 base fee (or, for a proposed subdivision, \$100.00 per lot, whichever is greater) plus \$60.00 state fee must accompany each application (**Total fee: \$160.00**). **THIS FEE IS NON-REFUNDABLE**. Checks or money orders should be made payable to the Town of Killingly. **Public hearing fee: \$225.00** required in addition to the above fees if a public hearing is required by the commission(s) and not already included.

TO BE COMPLETED BY THE APPLICANT -- PLEASE PRINT

Applicant's Name: Tammy Rainville & Robert LaBonte

Day Phone #: Tammy - (860) 885-4694 Evening Phone #: Robert - (860) 608-2650

Mailing Address: Tammy - 63 Gorman Road, Brooklyn, CT 06234

Owner of Record: Tammy Rainville

Mailing Address: 63 Gorman Road, Brooklyn, CT 06234 Phone #: (860) 885-4694

Applicant's interest in the land if the applicant is not the property owner: _____

RECEIVED

DEC 09 2021

Authorization of property owner: _____

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

LOCATION OF PROPERTY:

House # and Street: 146 Pineville Road

Tax Map Number: 18 Block: _____ Lot: 23

Zoning District: Rural District Lot Size: 7 Acres Lot Frontage: 1,651 FT

Easements and/or deed restrictions: None

PURPOSE:

Provide the purpose and description of the proposed activity, including a list of all proposed regulated activities:

Redevelopment of existing agricultural property for residential use. Demolish existing barn and construct 2-bedroom single-family residence in the former barn's location. Also detached garage w/ 900 SF accessory apartment, new driveway, code-compliant subsurface sewage disposal system, drilled water supply well, associated site grading and erosion & sediment controls.

ON-SITE WETLANDS AND WATERCOURSES:

Windham County wetland soil types and areas of each type: 3 - Ridgebury, Leicester & Whitman soils,
0-8% slopes, extremely stony

Watercourse(s) – type (pond, stream, marsh, bog, drainage ditch, etc.), manmade or natural, and area of each:

Transitional wetland system - wet meadow (former agricultural field) to palustrine forested wetland. "A" series is disconnected and appears to be the result of a prior excavation or bury pit.

ALTERNATIVES:

List alternatives considered by the applicant and state why the proposal to alter wetlands as set forth in the application is necessary and was chosen:

Applicant intends only to alter the "A" series wetland in order to stabilize the ground and make it safe for lawn maintenance equipment. No other alteration of wetlands is proposed by this application.

MATERIALS:

Provide the volume (cubic yard) and nature of materials to be deposited and/or extracted:

12" of Muck will be removed from "A" series wetland and the hole will be filled with soil native to the project site, volume 25+/- CY total. Overall, the site will receive 930+/- CY of fill in order to accomplish SSDS installation and proposed site grading.

MITIGATIVE MEASURES:

List measures to be taken to minimize or avoid any adverse impact on the regulated area:

Continuous sediment fence barrier to be installed between land disturbance and inland wetlands and maintained throughout the construction period.

BIOLOGICAL EVALUATION:

Describe the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions:

Of the 8 wetland functions identified by the US ACoE, Groundwater Recharge/Discharge, Floodflow Alteration, Sediment/Toxicant Retention and Wildlife Habitat are applicable. None of the 5 wetland values identified by the US ACoE are applicable.

SITE PLAN*:

Scale 1"=40' showing existing and proposed conditions in relation to wetlands and water courses to include, but not be limited to:

- Contours
- Buildings
- Wells
- Driveways
- Septic Systems
- Drainage Systems (Including Culverts, Footing and Curtain Drains)
- Erosion and Sedimentation controls
- Wetlands
- Watercourses
- Areas of Excavation and /or Material Deposit

**Refer to Section 6.0 – Application Information Requirements and Section 7.0 – Application Evaluation Criteria of the Killingly Inland Wetlands & Watercourses Commission Regulations for information the Commission may require. Professionally prepared plans (Licensed Land Surveyor/Professional Engineer registered in the State of Connecticut, Soil Scientist) may be required for significant activities.*

ADDITIONAL INFORMATION:

List additional information submitted by the applicant:

Subject property is not located within a public drinking water watershed area.

Subject property is not located within an established aquifer protection area.

Subject property is not located in a CT DEEP Natural Diversity Database (NDDB) area.

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly, Killingly Inland Wetlands & Watercourses Commission, and its agent (s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

Applicant's Signature: Robert LaBonte Date: 12/6/2021
Owner of Record: Jammy Rainville Date: 12/6/2021



Statewide Inland Wetlands & Watercourses Activity Reporting Form

*Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street – 3rd Floor, Hartford, CT 06106*

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN: Year: _____ Month: _____
- ACTION TAKEN: _____
- WAS A PUBLIC HEARING HELD (check one)? Yes No
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Killingly
Does this project cross municipal boundaries (check one)? Yes No
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
- LOCATION (click on hyperlinks for information): USGS Quad Map Name: Thompson and Quad Number: 29
Subregional Drainage Basin Number: 3400
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Tammy Rainville & Robert LaBonte
- NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): 146 Pineville Road
Briefly describe the action/project/activity (check and type information: Temporary Permanent Description _____
Replace existing barn w/ new single-family residence, detached garage w/ accessory apartment
- ACTIVITY PURPOSE CODE: A
- ACTIVITY TYPE CODE(S): 1, 12, 14, _____
- WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: 0.01 acres Open Water Body: 0 acres Stream: 0 linear feet
- UPLAND AREA ALTERED (type in acres as indicated): 0.75 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

December 8, 2021

Town of Killingly
Inland Wetlands & Watercourses Commission
Planning & Zoning Commission
Killingly Town Hall
172 Main Street
Killingly, CT 06239

RE: Owner & Applicant's Agent Authorization for Land Use Permitting

To Whom it May Concern;

We, Tammy Rainville (owner/applicant) and Robert LaBonte (applicant), do hereby authorize the firm of Boundaries, LLC to act on our behalf before the Town of Killingly Inland Wetlands & Watercourses Commission and Planning & Zoning Commission for requisite land use permitting activities associated with the proposed development of our property located at 146 Pineville Road in Killingly, Connecticut.

Sincerely,



Tammy Rainville
63 Gorman Road
Brooklyn, CT 06234
(860) 885-4694



Robert LaBonte
21 Snake Meadow Hill Road
Moosup, CT 06354
(860) 608-2650



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

REMOVED

JAN 26 2022

January 26, 2022

Tammy Rainville
63 Gorman Road
Brooklyn, CT 06234

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

SUBJECT: FILE #6000606 -- PINEVILLE ROAD #146, MAP #18, LOT #23, KILLINGLY, CT

Dear Tammy Rainville:

The subject plan (BOUNDARIES, LLC, JOB#21-3089, DRAWN DECEMBER 2021) submitted on 12/10/2021 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 5-bedroom house based on the following:

1. CT licensed surveyor must stake house, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. Select fill is to be perced once in place.
6. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
7. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
8. Excavation for a utility service trench between 5 and 25 feet from the system shall not be back filled with free draining material.
9. 2" pump line to be sleeved with 4" pipe under driveway.
10. Central SSDS approved by CT DPH 01/26/2022
11. Potable water line within 25' not to be backfilled with free draining material.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit. Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Brittany Otto, EHS
Environmental Health Specialist ~ NDDH

cc: Killingly Building Official; Boundaries LLC; Robert LaBonte

APPROVAL TO CONSTRUCT OR REPAIR SEWAGE DISPOSAL SYSTEM

NORTHEAST DISTRICT DEPARTMENT OF HEALTH
69 SOUTH MAIN STREET UNIT 4
BROOKLYN, CT
860 774 7350

Approval is hereby granted for the construction/repair of a sewage disposal system at the property described below:

TOWN: KILLINGLY

STREET: 146 PINEVILLE ROAD

FILE # 06000606

MAP #18

BLOCK #

LOT #23

DEV LOT #

OWNER: RAINVILLE, TAMMY

INSTALLER: Robert Labonte (slg. on file)

LIC #: 006000 EXP: 02/28/23

Residential: No. of Bedrooms: 4 (2 BDRM House, 1 BDRM Detached Garage w/In-Law Apartment)

INSTRUCTIONS FOR INSTALLER

1. Construction plot plan submitted and approved by this office must be adhered to. This office must be contacted for approval if any change is going to be made in the system location, size or design, or any changes in house, well or property line locations.
2. Any *NEW* sewage disposal system must conform to *ALL* requirements of Section 19-13-BI03 of the CT Public Health Code.
4. *ALL* new construction to be under *DIRECT* supervision of a CT licensed installer under Section 20-341 of the CT General Statutes.
5. The installer is *RESPONSIBLE* for *VERIFYING LOCATIONS* of *PROPERTY LINES, WELLS, and BURIED UTILITY LINES* prior to construction.
6. Installer to notify N.D.D.H. 24 hours, in advance, prior to the start of construction.
7. Installer to have septic tank covers removed at the time of inspection.

SPECIFIC INSTRUCTIONS:

1. Install per plan (Boundaries, LLC, Job # 21-3089; 146 Pineville Road, dated 12/2021).
2. The septic system (including both septic tanks), well, house, garage, and benchmark to be field staked by CT licensed surveyor.
3. Benchmark to be located within 10-15 feet of proposed system. Offset stakes to include flow line or bottom of trench elevations.
4. Install a 1,500 gallon two-compartment septic tank with outlet baffle filter and a 1,000 gallon pump chamber. If more than 12 inches of cover is placed over tanks, risers to grade required. Electrical permit to be obtained from the Building Official.
5. Install 660 square feet of effective leach area consisting of one 60' row of (12) Mantis 536-8 units surrounded by C33 septic sand.
6. Maximum depth into original grade not to exceed 12 inches.
7. A bottom of excavation inspection is required once topsoil has been removed.
8. A current sieve analysis (within 30 days) of select septic fill material to be submitted to NDDH. Fill to be perc tested once in place.
9. Installer to schedule and be present for final inspection with NDDH staff and have level set up so that elevations may be verified.
10. An Engineer's/Surveyors as-built drawing (to include toes to the house and garage) is to be submitted following the final inspection and approval of installation by NDDH.
11. Installer to complete checklist
12. Central SSDS approval granted by CT DPH on January 26, 2022.
13. Effluent line under driveway to be sleeved with 4" pipe.
14. Trench for potable water line AND trench for electrical line within 25' of tank not to be backfilled with free draining material.

APPROVAL 
GRANTED BY: Brittany Otto, EHS

DATE ISSUED: 01/26/2022
EXPIRES: 01/26/2023

ONE RENEWAL: / /
EXPIRES: / /

THIS PERMIT IS VALID FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE. IN ACCORDANCE WITH THE CT PUBLIC HEALTH CODE SECTION 19-13-BI03e(F)(I). ONE RENEWAL IS POSSIBLE PROVIDED NDDH IS NOTIFIED PRIOR TO THE EXPIRATION DATE NOTED ABOVE. IF PERMIT EXPIRES, INSTALLERS ARE CHANGED, OR ANY OTHER DEVIATION FROM THE ORIGINAL PERMIT, A NEW APPLICATION MUST BE COMPLETED AND ALL APPLICABLE FEES MUST BE PAID.

1

STATE OF CONNECTICUT
DEPT. OF HEALTH DEPARTMENT OF PUBLIC HEALTH

2022 JAN 26 P 2: 23

Manisha Juthani, MD
Commissioner



Ned Lamont
Governor
Susan Bysiewicz
Lt. Governor

Environmental Health Section

NOTICE OF EXCEPTION

An exception is hereby granted to the requirements of Section 19-13-B103d (d) of the Connecticut Public Health Code for a CENTRAL SUBSURFACE SEWAGE DISPOSAL SYSTEM serving a SINGLE-FAMILY HOUSE and a DETACHED GARAGE/APARTMENT located at 146 PINEVILLE ROAD in the Town of KILLINGLY, CT. A central system has been found to be technically preferable for the following reasons:

1. The central system shall provide for an improved distribution and treatment of sewage effluent.
2. Wastewater that is not "sewage" as defined in Section 19-13-B103b (a) of the Connecticut Public Health Code shall not be discharged to the sewage disposal system.
3. The installation shall be inspected and approved by the local health department.

Recorded at the Department of Public Health, Hartford, Connecticut.

Handwritten signature of Sean Merrigan in black ink.

Sean Merrigan
Sanitary Engineer III
Environmental Engineering Program

JANUARY 26, 2022

Date



Phone: (860) 509-7296 • Fax: (860) 509-7295
410 Capitol Avenue, MS#12SEW, P.O. Box 340308
Hartford, Connecticut 06134-0308

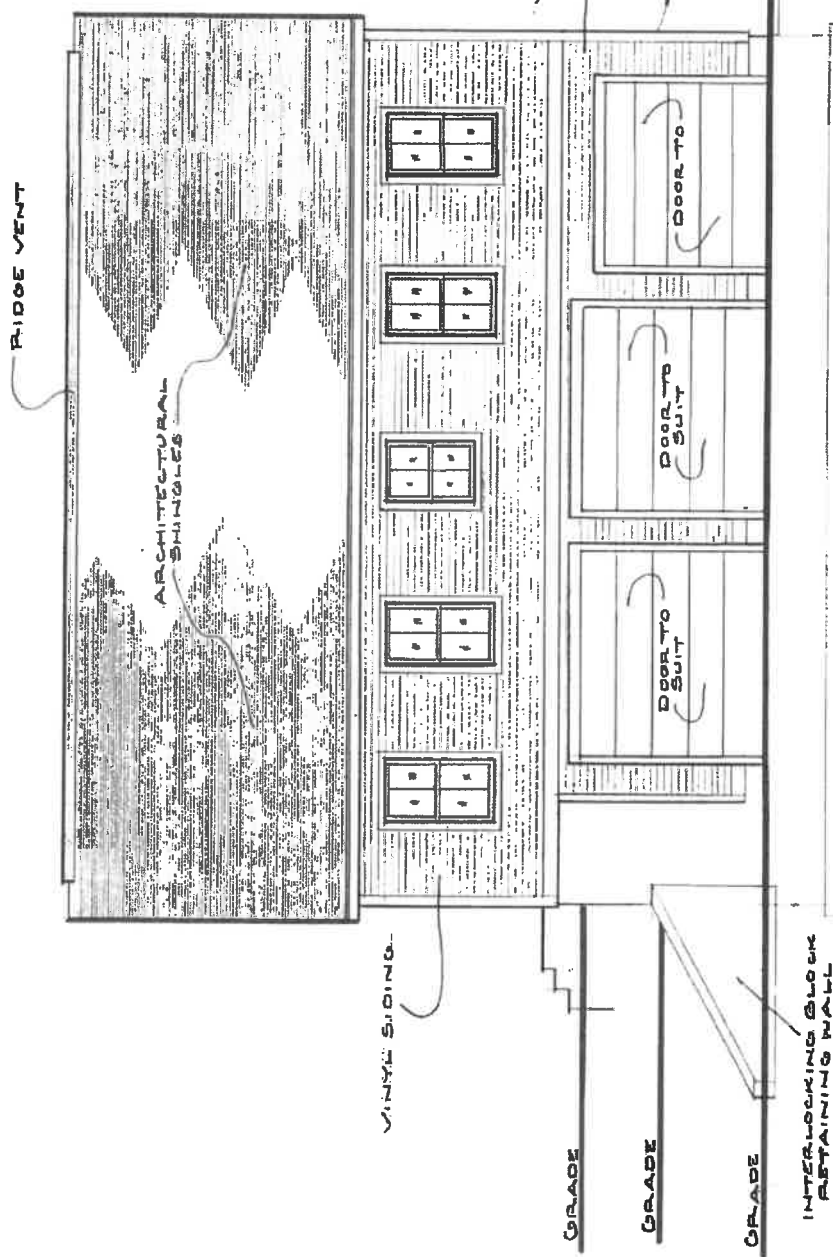
www.ct.gov/dph

Affirmative Action/Equal Opportunity Employer

DWG. NO. A-1

SCALE: AS NOTED
DATE: 10/20/2021
DRAWN BY: D. MORIN

CREATIVE DESIGNS & DRAFTING SERVICES
SOUTH WINDHAM CT (860) 377-7580



RECEIVED

FRONT ELEVATION
SCALE 1/4"=1'-0"

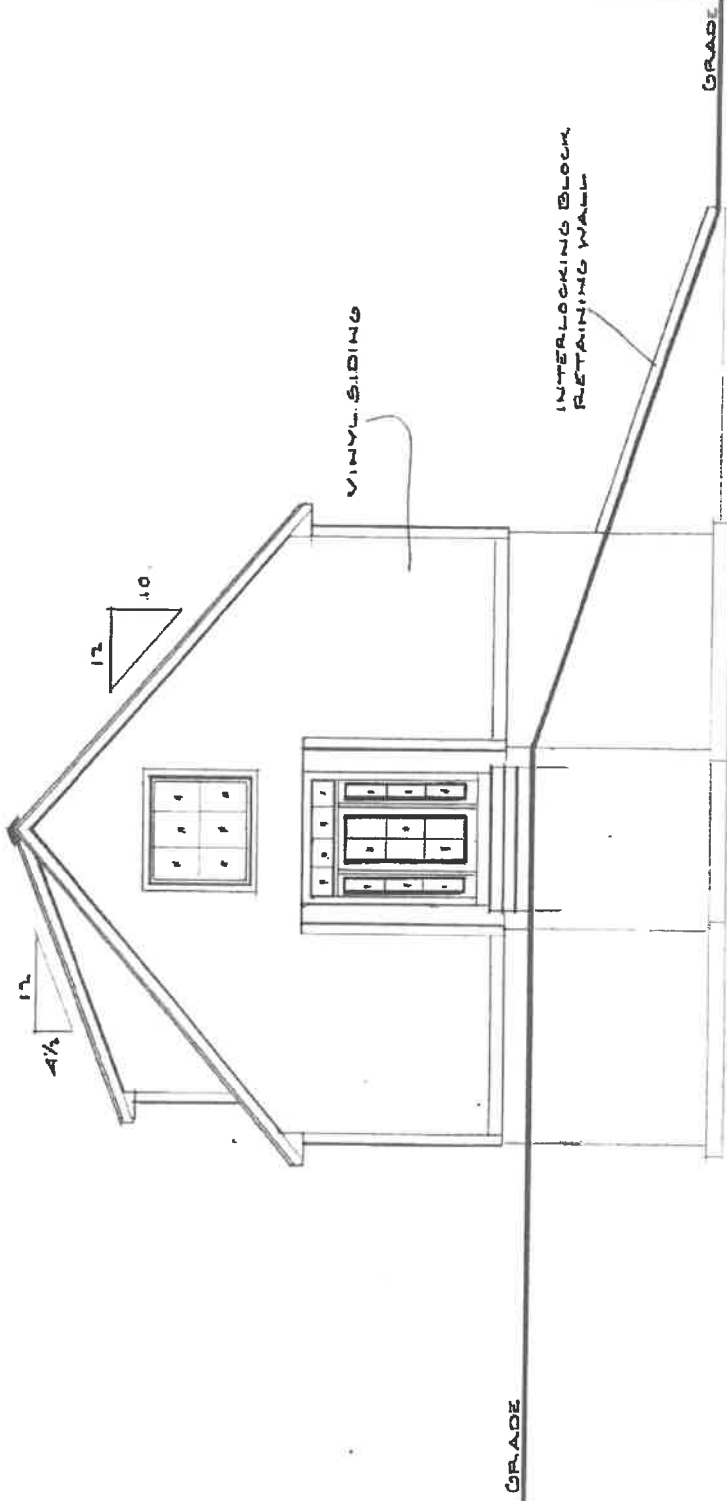
DEC 09 2021

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

DWG. NO. A-2

SCALE: AS NOTED
DATE: 10/20/2021
DRAWN BY: D. MORIN

CREATIVE DESIGNS &
DRAFTING SERVICES
SOUTH WINDHAM CT. (860) 377-7580

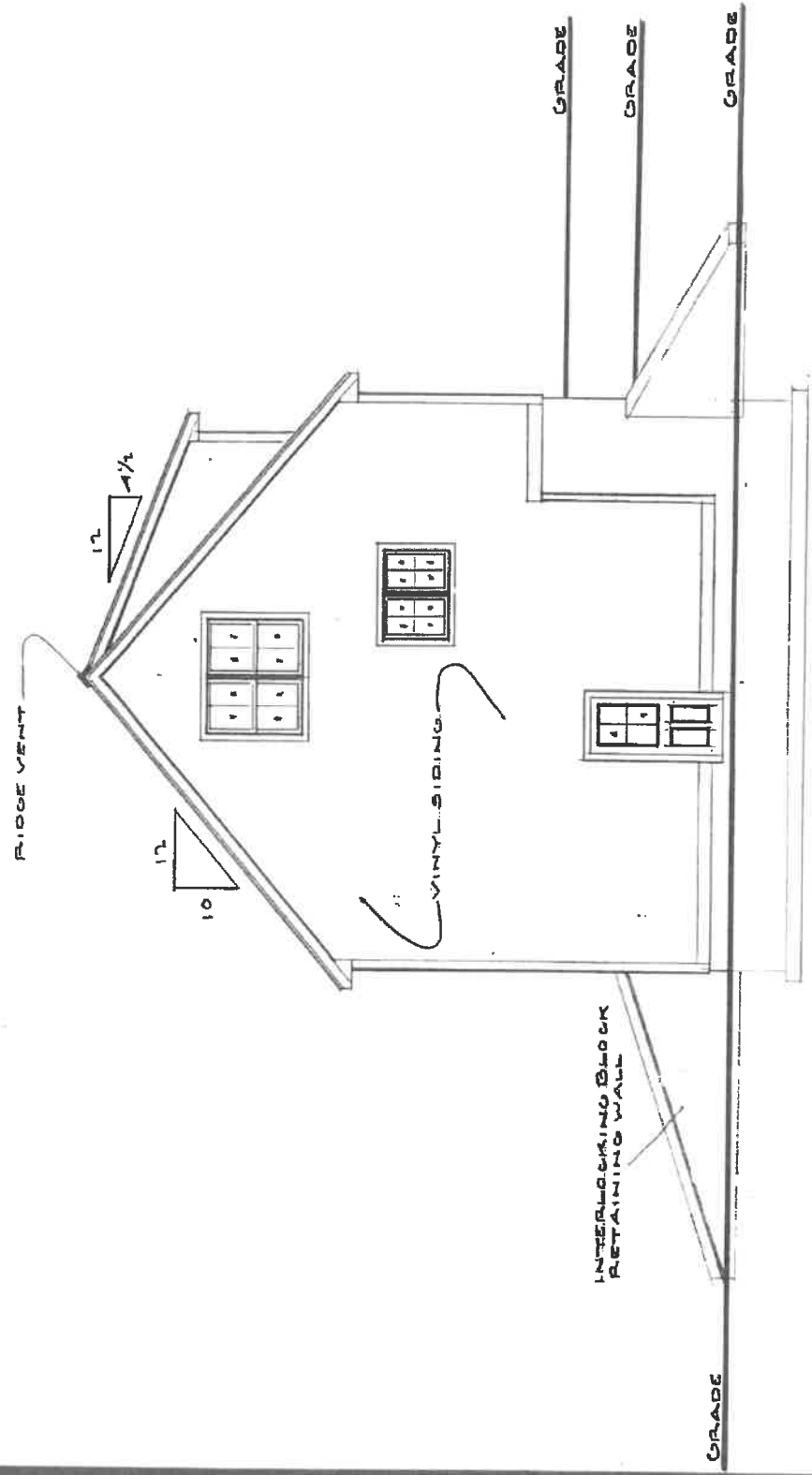


LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

DWG. NO. A-3

SCALE: AS NOTED
DATE: 10/10/2011
DRAWN BY: D. MORIN

CREATIVE DESIGNS & DRAFTING SERVICES
SOUTH WINDHAM CT (860) 377-7560

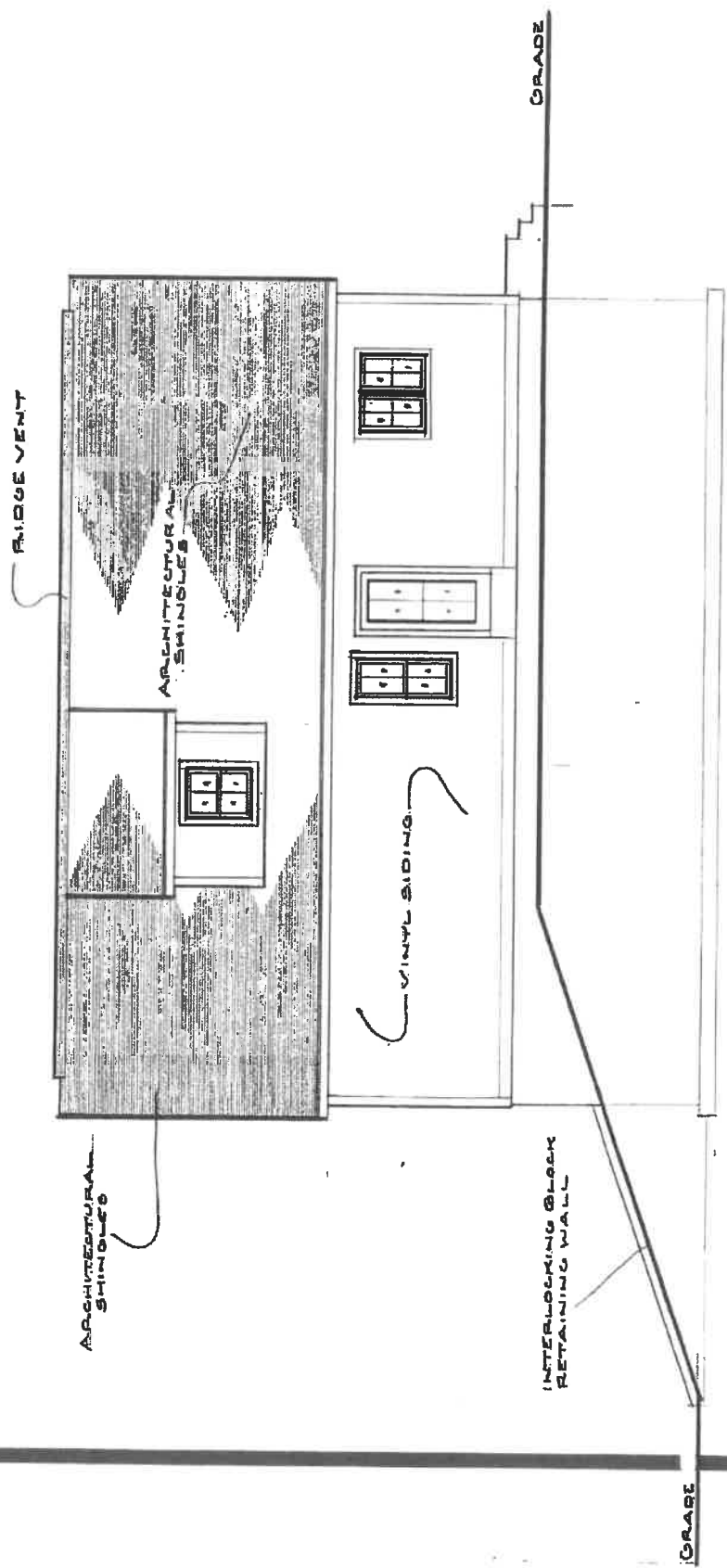


RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

DWG. NO. A-4

SCALE: AS NOTED
DATE: 10/20/2021
DRAWN BY: D. MORIN

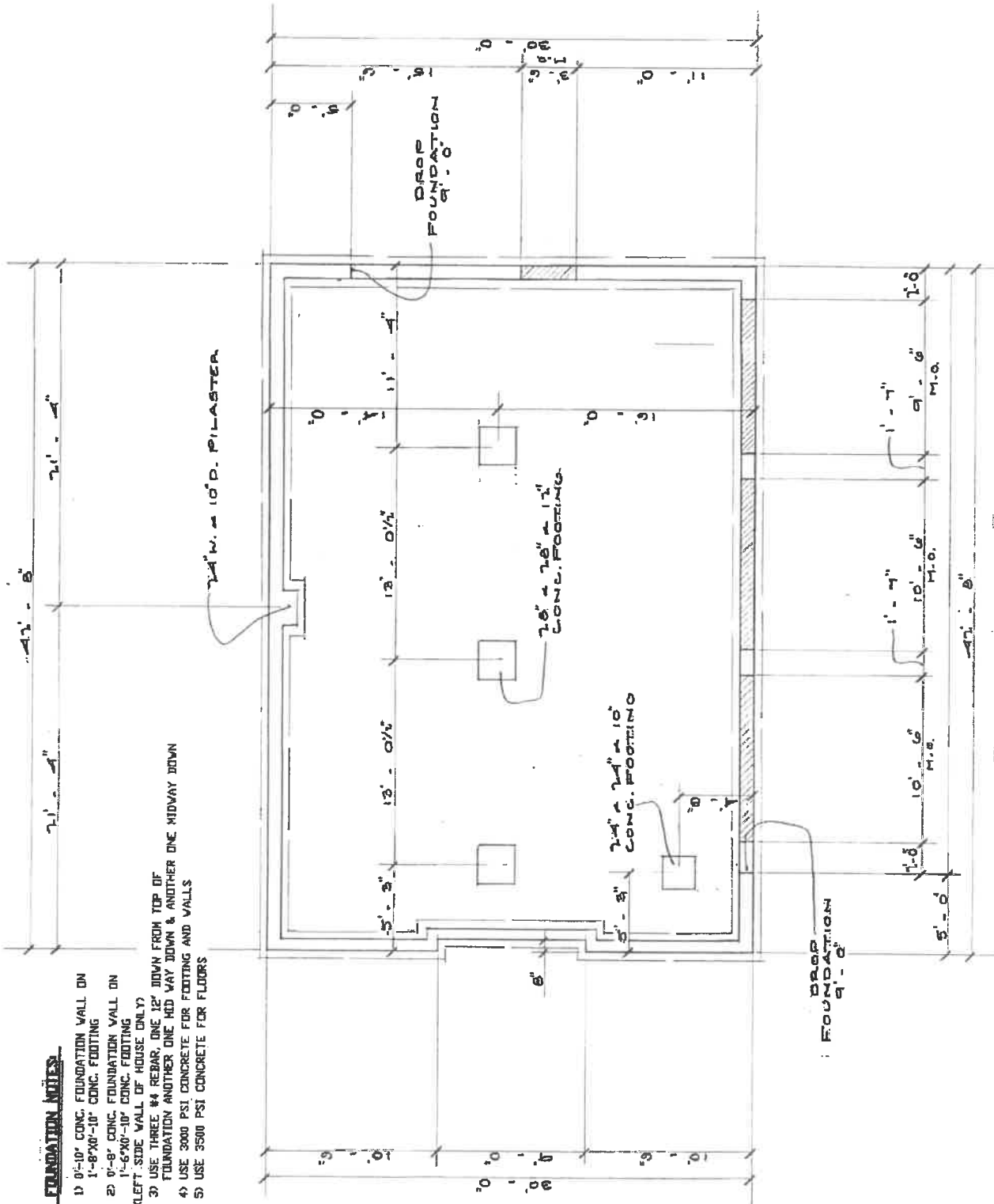
CREATIVE DESIGNS &
DRAFTING SERVICES
SOUTH WINDHAM CT. (860) 377-7660



REAR ELEVATION
SCALE: 1/4"=1'-0"

DWG. NO. **A-5**
 SCALE: AS NOTED
 DATE: 10/20/2021
 DRAWN BY: D. MORIN

CREATIVE DESIGNS & DRAFTING SERVICES
 SOUTH WINDHAM CT
 (860) 377-7660



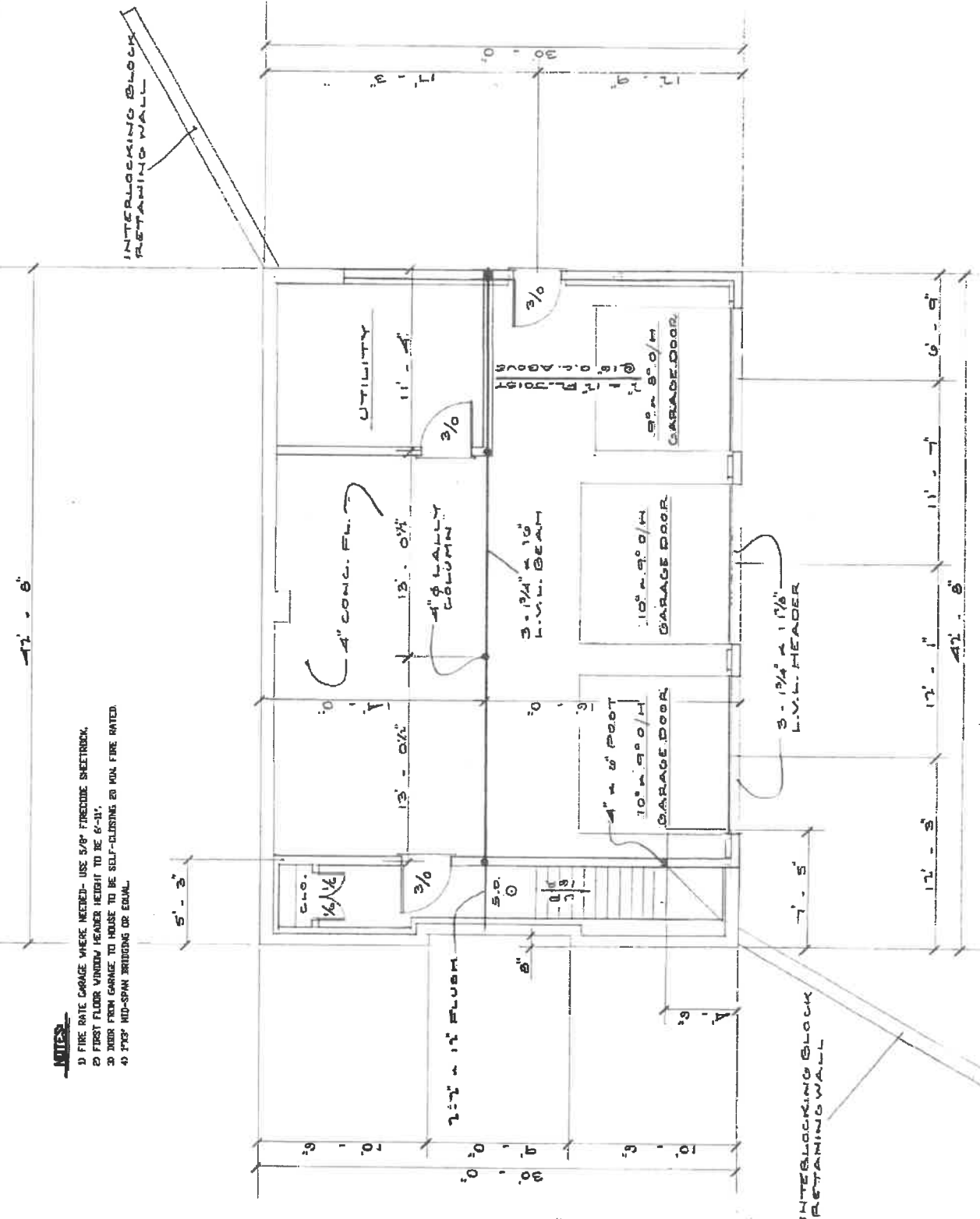
- FOUNDATION NOTES:**
- 1) 0'-10" CONC. FOUNDATION WALL ON 1'-8"x0'-10" CONC. FOOTING
 - 2) 0'-8" CONC. FOUNDATION WALL ON 1'-6"x0'-10" CONC. FOOTING (LEFT SIDE WALL OF HOUSE ONLY)
 - 3) USE THREE #4 REBAR, ONE 12" DOWN FROM TOP OF FOUNDATION ANOTHER ONE MID WAY DOWN & ANOTHER ONE MIDWAY DOWN
 - 4) USE 3000 PSI CONCRETE FOR FOOTING AND WALLS
 - 5) USE 3500 PSI CONCRETE FOR FLOORS

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

SCALE: AS NOTED
 DATE: 10/20/2021
 DRAWN BY: D. MORIN
 DWG. NO. A-6

CREATIVE DESIGNS & DRAFTING SERVICES
 SOUTH WINDHAM CT.
 (860) 377-7680

- NOTES**
- 1) FIRE RATE GARAGE WHERE NEEDED- USE 5/8" FIRECODE SHEETROCK.
 - 2) FIRST FLOOR WINDOW HEADER HEIGHT TO BE 6'-11".
 - 3) DOOR FROM GARAGE TO HOUSE TO BE SELF-CLOSING 20 MIN. FIRE RATED.
 - 4) 1" x 2" MID-SPAN BRIDGING OR EQUAL.

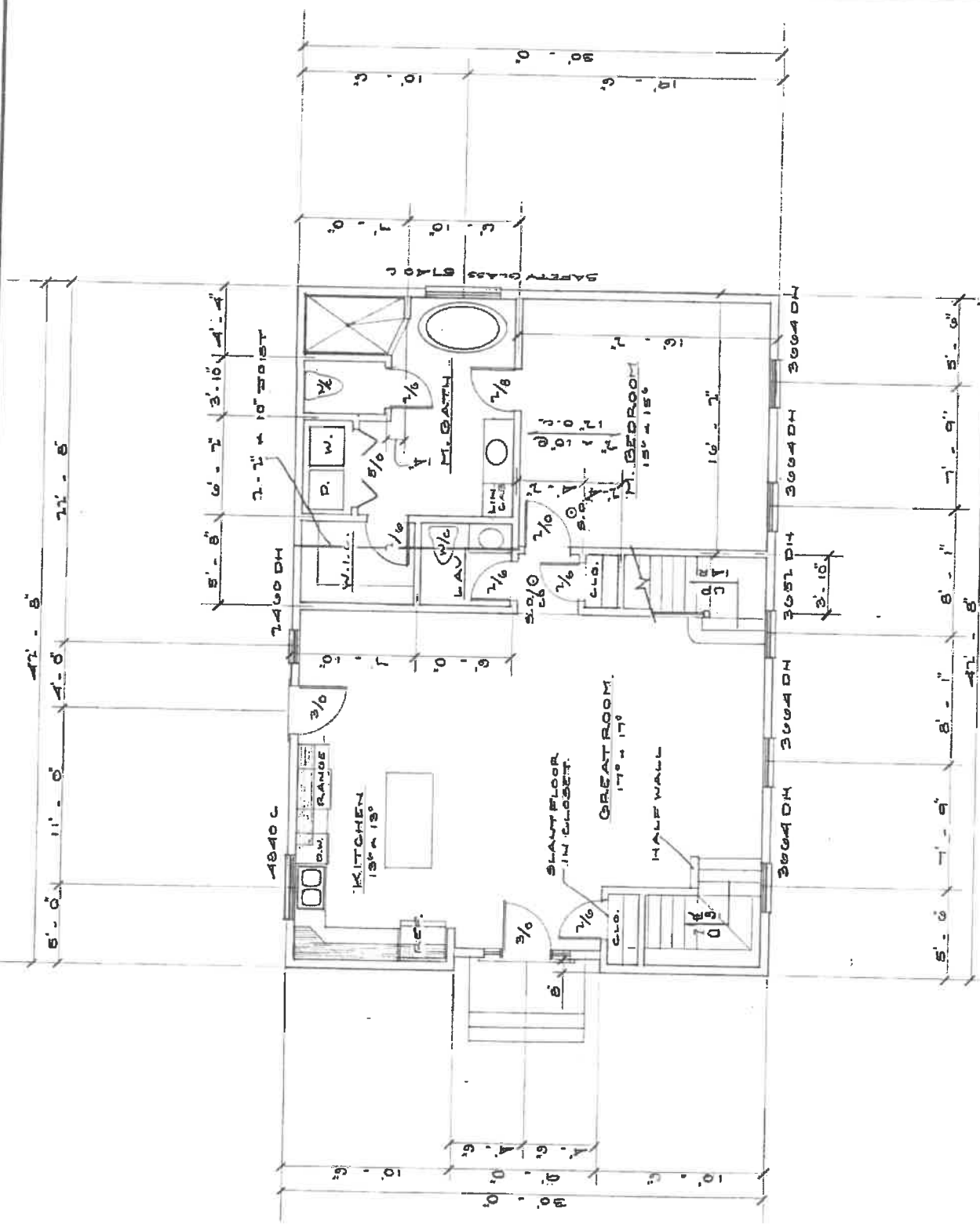


BASEMENT PLAN
 SCALE: 1/4"=1'-0"

DWG. NO. A-7

SCALE: AS NOTED
 DATE: 10/20/2021
 DRAWN BY: D. MORIN

CREATIVE DESIGNS & DRAFTING SERVICES
 SOUTH WINDHAM CT. (860) 377-7580

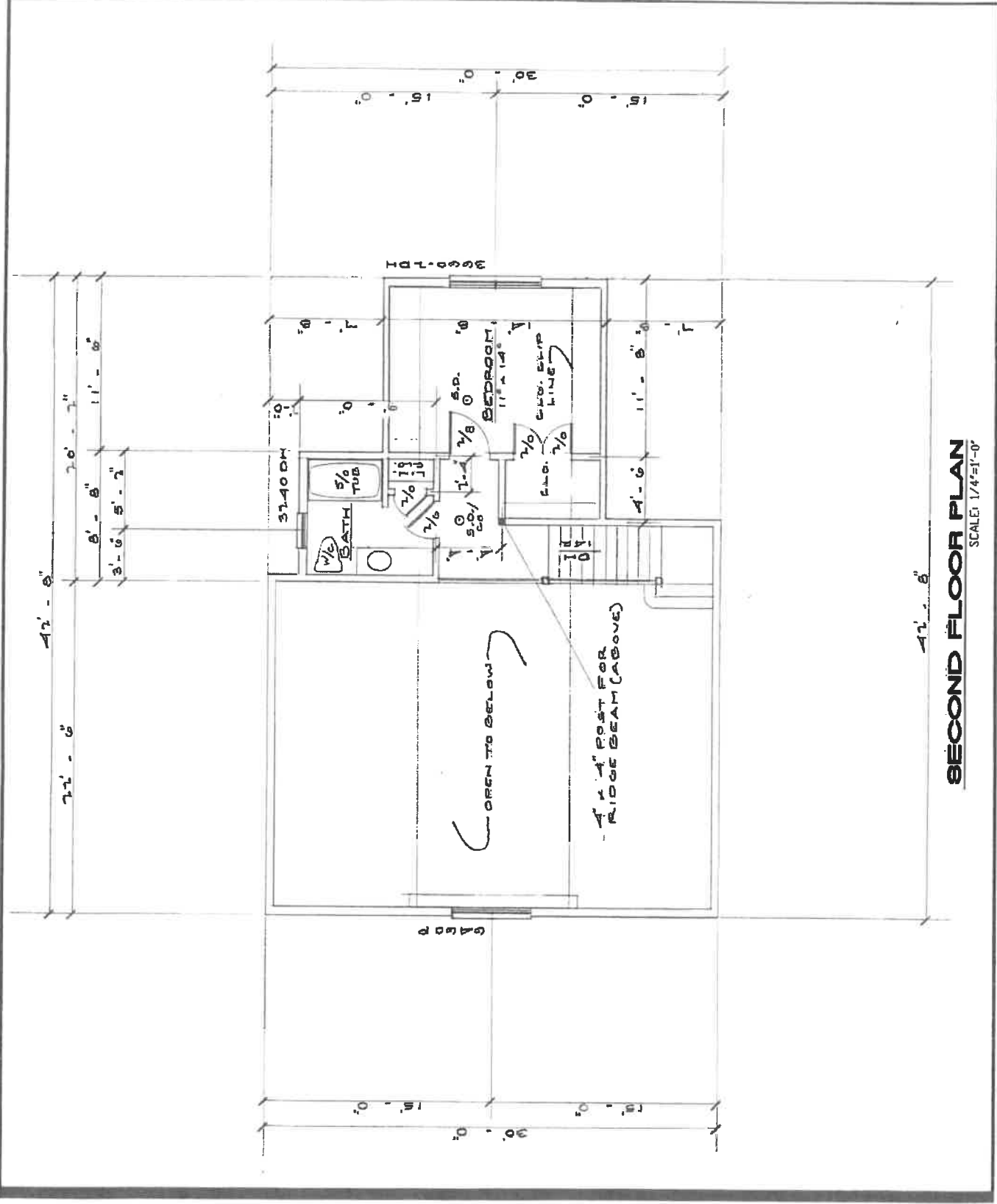


FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

DWG. NO. A-8

SCALE: AS NOTED
DATE: 10/20/2021
DRAWN BY: D. JACOB

CREATIVE DESIGNS &
DRAFTING SERVICES
SOUTH WINDHAM CT.
(860) 377-7560



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

DWG. NO. A-10

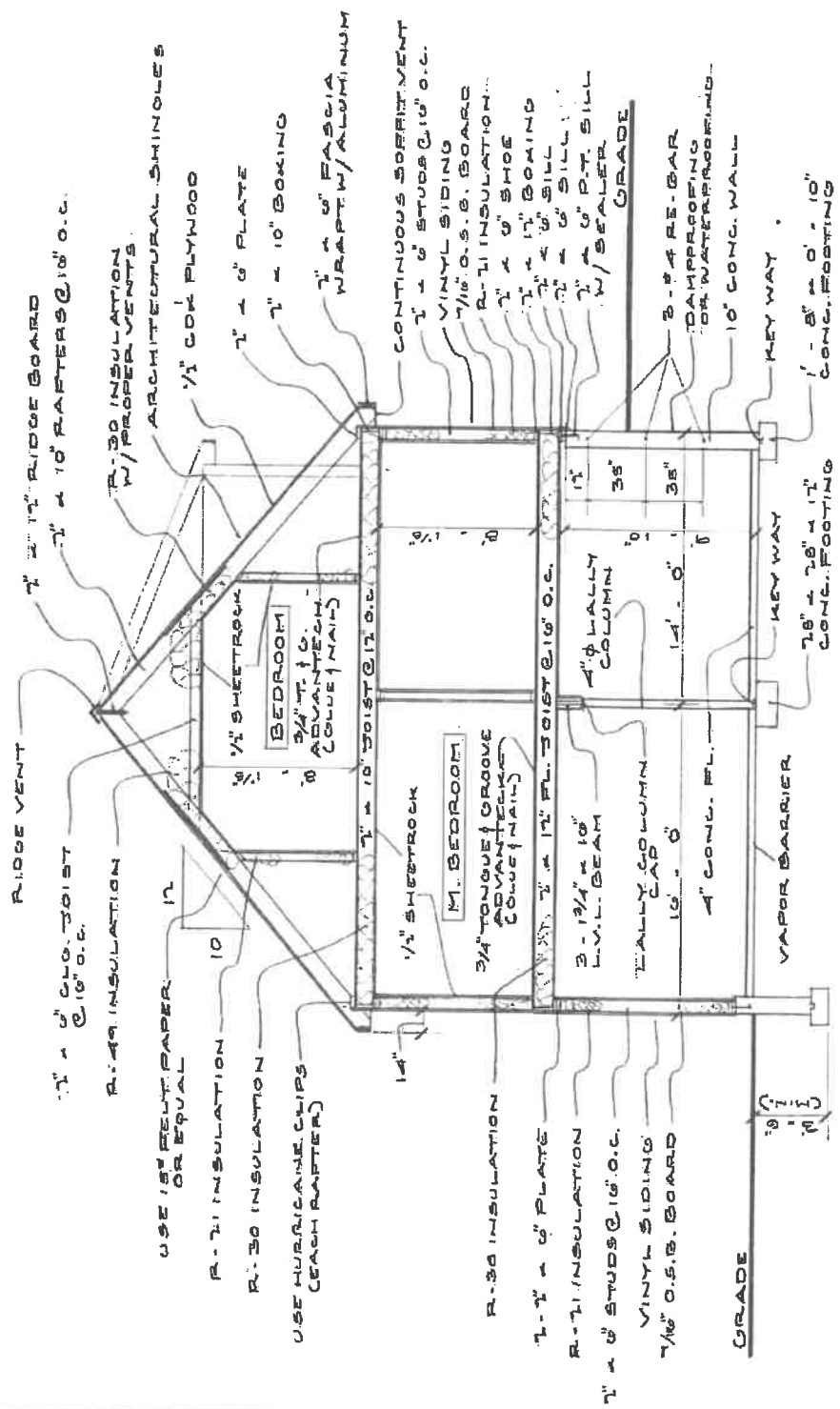
SCALE: AS NOTED

DATE: 10/20/2021

DRAWN BY: D. MORIN

CREATIVE DESIGNS & DRAFTING SERVICES

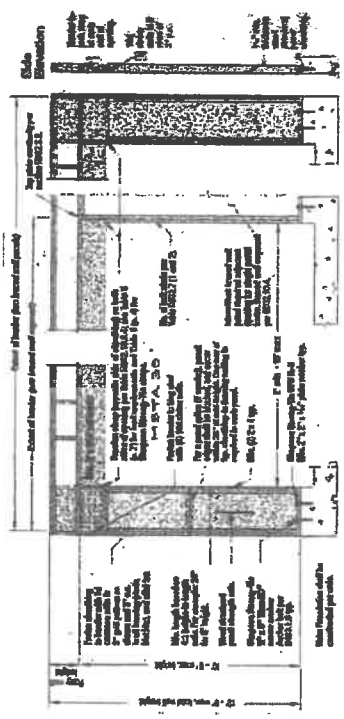
(800) 377-7580 SOUTH WINDHAM CT.



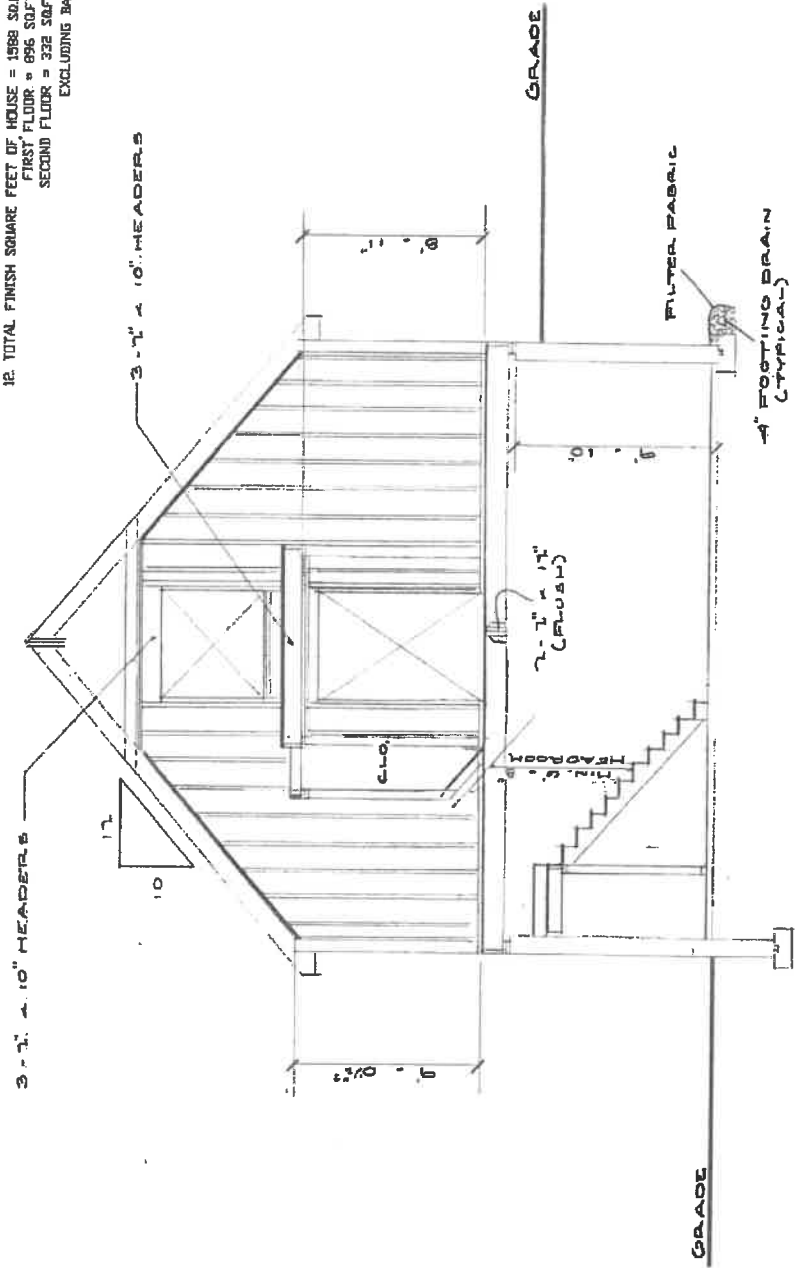
BUILDING SECTION
SCALE 1/4"=1'-0"

GENERAL NOTES:

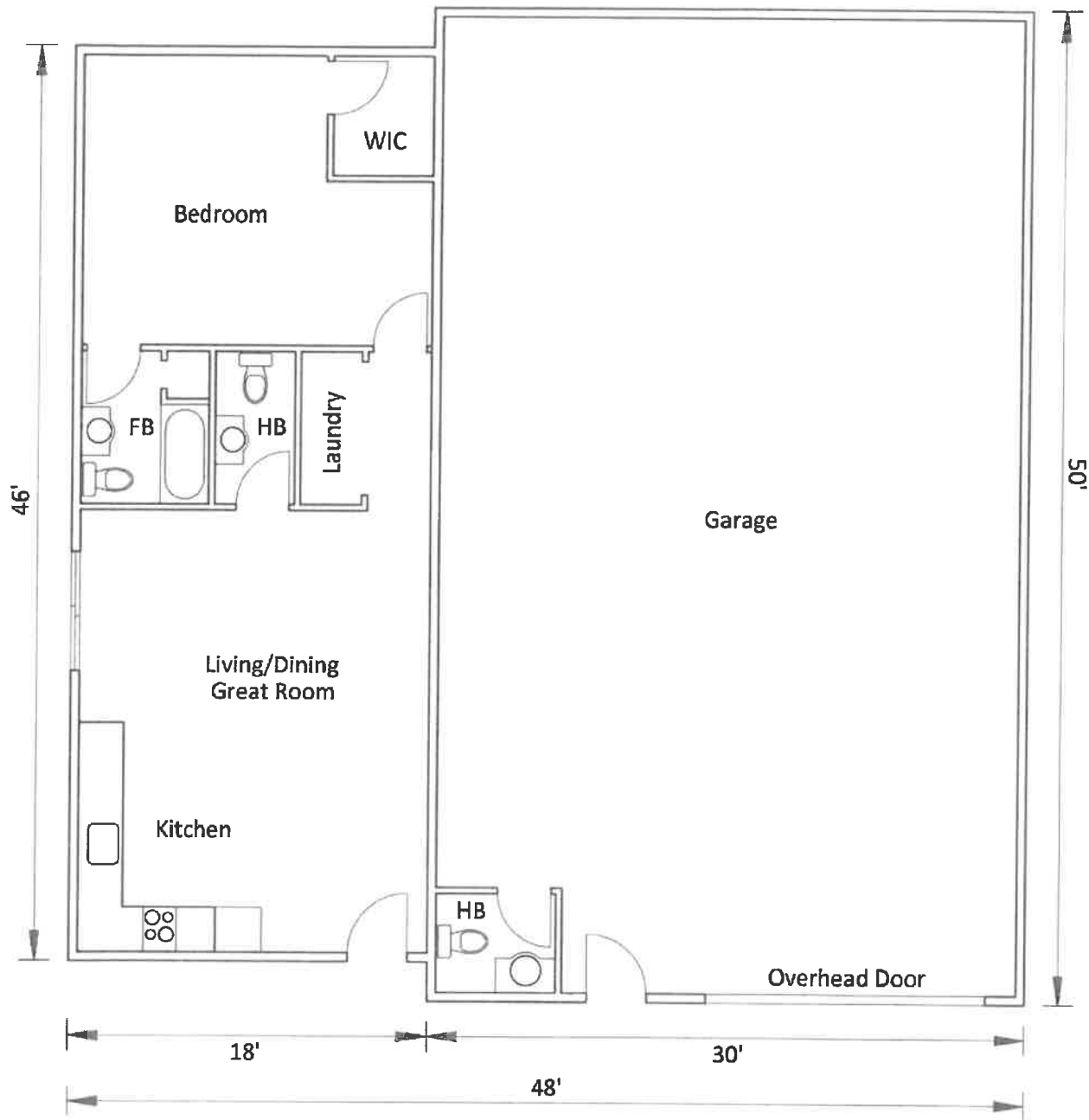
1. CONTRACTOR TO VERIFY AND CHECK DIMENSIONS, DATA AND DETAILS BEFORE STARTING CONSTRUCTION.
2. ROOF AND FLOOR LOADS
 - 1ST FLOOR 40 PSF LIVE LOAD V/100 DEAD = 50 PSF
 - 2ND FLOOR 40 PSF LIVE LOAD V/100 DEAD = 50 PSF
 - ATTIC 35 PSF LIVE LOAD V/100 DEAD = 45 PSF
 - ROOF 35 PSF LIVE LOAD V/100 DEAD = 45 PSF
3. ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE TWO 2"x10" UNLESS OTHERWISE NOTED.
4. WRAP EXTERIOR WALL OF HOUSE WITH TYVEK BY DUPONT OR EQUAL.
5. ALL FLOOR AND CEILING PENETRATIONS TO BE FIRESTOPPED.
6. USE DRIP CAPS ABOVE ALL EXTERIOR WINDOWS AND DOORS WHERE NEEDED.
7. USE PROPER FLASHING UNDER ALL EXTERIOR DOORS.
8. ALL L.V.L. BEAM TO BE VERIFIED BY MANUFACTURER.
9. CONTRACTOR TO COMPLY WITH 2018 IRC CODE REQUIREMENT MANUAL INCLUDING SMOKE DETECTORS.
10. ALL CIRCUITS TO BE PROTECTED BY AFCI FAULT BREAKERS INCLUDING SMOKE DETECTORS.
11. ALL WINDOWS 72" ABOVE GRADE AND LESS THAN 24" FROM FLOOR NEEDS INTEGRATED FALL PROTECTION.
12. TOTAL FINISH SQUARE FEET OF HOUSE = 1588 SQ.FT.
 FIRST FLOOR = 896 SQ.FT.
 SECOND FLOOR = 332 SQ.FT.
 EXCLUDING BASEMENT



Refer to PFD: Detail of Window and Door Openings in Schedule Design Categories A, B and C



BUILDING SECTION
 SCALE: 1/4"=1'-0"



Conceptual Floor Plan
 Detached Garage w/ Accessory Apartment
 146 Pineville Road - Killingly, CT
 Tammy Rainville & Robert LaBonte
 Scale: 1"=8'

RECEIVED

DEC 09 2021

PLANNING & ZONING DEPT.
 TOWN OF KILLINGLY

STAFF REPORT

GENERAL INFORMATION: IWWC Application #21-1539

REQUEST: Application 21-1539 of Square 1 Building Associates for demolition of existing cottage and construction of new single-family residence with attached two car garage (29' x 61' footprint including deck & stoop), public sewer, and private well within 200' upland review area; 7 Lawton Lane; Map ID 3065, Alt ID 87-34; Rural Development Zone / Alexander Lake Overlay District.

PURPOSE: Applicant is proposing demolition of existing legal non-conforming cottage and construction of a new conforming cottage in similar location.

APPLICANT: Square 1 Building Associates; Shane Pollock, member

OWNER: Nicholas & Blake Keene

PARCEL ID: Map ID 3065, Alt ID 87 – Lot 34

LOCATION: 7 Lawton Lane

ZONING: Rural Development Zone / Alexander Lake Overlay District

REPORT BY: Jonathan Blake, Planner / Zoning Enforcement Officer

SUMMARY: The applicant applied for an Authorized Agent Approval which has been common practice for cottages along Alexanders Lake. Existing cottage is legal non-conforming regarding building setbacks and is within the 200' upland review. The applicant is proposing the demolition and rebuilding of a new cottage to include a two-car attached garage. The well location is changing, and a small rubble wall is being removed. The regarding from the removal of the rubble wall is minor and will not impact the lake. The applicant has provided an updated site plan since the 1/3/2021 meeting showing the updated well location and spot elevations.

REGULATION:

50' – Single and two-family residential structures

75' – Other main-use buildings or structures

100' – Accessory structures housing animals

50' – Other accessory structures

25' – Other accessory structures less than 150 square feet in size

25' – No disturbance wetland buffer

Separation distances listed above may be increased by the Commission if deemed necessary for the protection and preservation of the natural and indigenous character of the wetlands and/or watercourses system and riparian corridors due to site specific factors such as topography, slope, soil type, presence of rare, endangered and/or species of concern, unique or uncommon habitats, etc.

(Section 6.3, Killingly IWWC Regulations).

At any time during the review period, the Agency may require the applicant to provide additional information about the regulated area or regulated activity which is the subject of the application, or the wetlands or watercourses affected by the regulated activity. Requests for additional information shall not stay the time limitations as set forth in Subsection 11.2 of these regulations.

(Section 8.7, Killingly IWWC Regulations).

The Agency may delegate to its duly authorized agent the authority to approve or extend an activity that is not located in a wetland or watercourse when such agent finds that the conduct of such activity would result in no greater than a minimal impact on any wetlands or watercourses provided such agent has completed the comprehensive training program developed by the commissioner pursuant to section 22a-39 of the General Statutes. (Amend. Effective Date June 1, 1997)

(Section 11B.1, Killingly IWWC Regulations).

Notwithstanding the provisions for receipt and processing applications as prescribed in section 8 of these regulations, such agent may approve or extend an activity at any time. Any person receiving such approval from such agent shall, within ten days of the date of such approval, publish, at the applicant's expense, notice of the approval in a newspaper having a general circulation in the town wherein the activity is located or will have an effect. Any person may appeal such decision of such agent to the Agency within fifteen days after the publication date of the notice and the Agency shall consider such appeal at its next regularly scheduled meeting provided such meeting is no earlier than three business days after receipt by such Agency or its agent of such appeal. The Agency shall, at its discretion, sustain, alter, or reject the decision of its agent or require an application for a permit in accordance with section 7 of these regulations (Amend. Effective Date: June 22, 1999).

(Section 11B.2, Killingly IWWC Regulations).

RECOMMENDATION:

Having review the application and based on the above regulations, the Killingly Authorized Agent is looking to approve the application, with conditions:

- Provide a Copy of Northeast District Department of Health Approval.
- Install E&S prior to start of construction along northern property line between new construction and lake; call for inspection by IWWC Authorized Agent.

IWWA# 21-1539

210-CK 4448

12-8-21

#21-001349

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of copy of Applicants notice to adjoining municipality _____

Zoning Permit Reference # _____
Date of Staff Authorization: _____
Date of legal notice to be published _____
Appeal period ending: _____

KILLINGLY INLAND WETLAND AND WATERCOURSES COMMISSION

AGENT APPROVAL APPLICATION

A \$150.00 base fee plus a \$60.00 State fee must accompany each application (Total fee: \$210.00). ALL FEES AND ADVERTISING COSTS ARE NON-REFUNDABLE. Checks or Money orders should be made payable to the Town of Killingly.

TO BE COMPLETED BY THE APPLICANT - PLEASE PRINT:

Applicant's Name: Savage 1 Bldg. Associates - Shane Pollock member

Daytime Phone: 860-888-3129 Evening Phone: same

Mailing Address: 101 Madison Drive, Groton, CT 06351

Owner of Record: Nicholas + Blake Keene Mailing Address: 44 Lake Rd Dayville, CT

Applicants interest in the Project (if not the property owner): general contractor

Authorization from property owner: Blake Keene Nicholas Keene

Blake Barrows + Nicholas Keene *

LOCATION OF THE PROPERTY/PROJECT:

House # and Street: 7 Lawton Lane

Tax Map #: 87 Block: _____ 34

Zoning District: Alexander Lake Overlay Lot Size: 0.11 acres Lot Frontage: 56.13

DESCRIBE THE PROPOSED ACTIVITY: (applicant must attach a scale drawing of the proposed activity showing north arrow, property boundaries, location of activity in relation to wetland/watercourse as well as steps to be taken to avoid any impacts to the wetlands and/or watercourses.)

Demo existing cottage. Construct new single family residence w/ attached two car garage, total encompasses footprint 29'x61' inclusive of deck + steps. Drilled well, public sewer.

The applicant understands that this application is to be considered complete only when all information and documents required by the Agent have been submitted. The undersigned warrants the truth of all statements contained herein and all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly and applicable agent(s) to walk the land at reasonable times and perform those tests necessary to properly review the application, both before and after the approval is granted/issued.

Applicant's Signature: Shane Pollock, member Date: 12-6-21

* Owner of Record: Blake Keene Nicholas Keene Date: 12-7-21

Reason for Agent approval: _____ DEP form completed: _____

Conditions attached to approval: _____

Authorized Agent Signature: _____ Date: _____

STAFF REPORT

GENERAL INFORMATION: IWWC Application #21-1540

REQUEST: Application 21-1540 of Fall Brook Investments LLC (Brian Meehan) for construction of a single-family residence & garage with associated well, septic & drive within the 200' upland review area; 43 Fallbrook Road; Map ID 8783, Alt ID 221-12; Rural Development Zone.

PURPOSE: Applicant is looking to construction a single-family house on a vacant lot that was previously approved. Lot is part of 1963 subdivision.

APPLICANT: Fall Brook Investments LLC; Brian Meehan, member

OWNER: Same

PARCEL ID: Map ID 8783, Alt ID 221 – Lot 12

LOCATION: 43 Fallbrook Road

ZONING: Rural Development Zone

REPORT BY: Jonathan Blake, Planner / Zoning Enforcement Officer

SUMMARY: The applicant is looking to develop one of the last remaining lots in the Fallbrook Road Subdivision. Since the last meeting the Applicant has provided documentation from the Northeast District Department of Health as well an updated letter from a Soil Scientists.

REGULATION:

For subsurface sewage disposal system, tank, leach field, dry well, chemical waste disposal system, manure storage area, or any other pollution source

100' – inland wetlands, watercourses, rivers and perennial streams.

50' – wetland pockets and intermittent streams

(Section 6.3, Town of Killingly Regulations for the Protection and Preservation of Inland Wetlands and Watercourses (Killingly IWWC Regulations)).

50' – Single and two-family residential structures

75' – Other main-use buildings or structures

100' – Accessory structures housing animals

50' – Other accessory structures

25' – Other accessory structures less than 150 square feet in size

25' – No disturbance wetland buffer

Separation distances listed above may be increased by the Commission if deemed necessary for the protection and preservation of the natural and indigenous character of the wetlands and/or watercourses system and riparian corridors due to site specific factors such as topography, slope, soil type, presence of rare, endangered and/or species of concern, unique or uncommon habitats, etc.

(Section 6.3, Killingly IWWC Regulations).

Killingly Inland Wetlands & Watercourse – February 7, 2022, Regular Meeting

At any time during the review period, the Agency may require the applicant to provide additional information about the regulated area or regulated activity which is the subject of the application, or the wetlands or watercourses affected by the regulated activity. Requests for additional information shall not stay the time limitations as set forth in Subsection 11.2 of these regulations.

(Section 8.7, Killingly IWWC Regulations).

The Agency may delegate to its duly authorized agent the authority to approve or extend an activity that is not located in a wetland or watercourse when such agent finds that the conduct of such activity would result in no greater than a minimal impact on any wetlands or watercourses provided such agent has completed the comprehensive training program developed by the commissioner pursuant to section 22a-39 of the General Statutes. (Amend. Effective Date June 1, 1997)

(Section 11B.1, Killingly IWWC Regulations).

Notwithstanding the provisions for receipt and processing applications as prescribed in section 8 of these regulations, such agent may approve or extend an activity at any time. Any person receiving such approval from such agent shall, within ten days of the date of such approval, publish, at the applicant's expense, notice of the approval in a newspaper having a general circulation in the town wherein the activity is located or will have an effect. Any person may appeal such decision of such agent to the Agency within fifteen days after the publication date of the notice and the Agency shall consider such appeal at its next regularly scheduled meeting provided such meeting is no earlier than three business days after receipt by such Agency or its agent of such appeal. The Agency shall, at its discretion, sustain, alter, or reject the decision of its agent or require an application for a permit in accordance with section 7 of these regulations (Amend. Effective Date: June 22, 1999).

(Section 11B.2, Killingly IWWC Regulations).

RECOMMENDATION:

Staff is requesting the Commission review the application as it has been submitted, and listen to testimony provided by the applicant, agent, and experts.



JOSEPH R. THEROUX

~ CERTIFIED FORESTER/ SOIL SCIENTIST ~
PHONE 860-428-7992 ~ FAX 860-376-6842
P.O. Box 32, VOLUNTOWN, CT. 06384
FORESTRY SERVICES ~ ENVIRONMENTAL IMPACT ASSESSMENTS
WETLAND DELINEATIONS AND PERMITTING ~ E&S/SITE MONITORING
WETLAND FUNCTION AND VALUE ASSESSMENTS

2/1/2022

KILLINGLY ENGINEERING ASSOCIATES
P.O. Box 421
DAYVILLE, CT. 06241

RE: WETLAND INSPECTION, 43 FALL BROOK RD. KILLINGLY, CT.

DEAR MR. GLAUDE,

AT YOUR REQUEST I HAVE INSPECTED THE ABOVE REFERENCED PROPERTY AND THE INLAND WETLANDS LOCATED IN THE EASTERN AND SOUTHERN PORTIONS OF THE PROPERTY.

I HAVE ALSO REVIEWED THE SITE PLAN ENTITLED: "GENERAL LOCATION SURVEY SEPTIC SYSTEM DESIGN PLAN PREPARED FOR FALL BROOK INVESTMENTS, LLC, 43 FALL BROOK ROAD, KILLINGLY, CONNECTICUT" BY KILLINGLY ENGINEERING ASSOCIATES, DATED 5/12/2015 AND REVISED 12/29/2021.

THE PALUSTRINE FORESTED WETLANDS FOUND TO THE EAST AND SOUTH ARE ACCURATELY DEPICTED ON THIS SURVEY PLAN AND DO NOT APPEAR TO HAVE CHANGED FROM THE ORIGINAL DELINEATION PERFORMED BY MICHAEL SCHAEFER IN 2005. I FOUND SEVERAL WETLAND FLAGS FROM THIS DELINEATION.

FOR THE PURPOSES OF MUNICIPAL REVIEW, I PLACED A FEW WETLAND FLAGS, (NOT NUMBERED), ALONG THE WESTERN & NORTHERN WETLAND BOUNDARIES BELOW THE PROPOSED RESIDENTIAL DEVELOPMENT.

IN CONCLUSION, IF YOU HAVE ANY QUESTIONS CONCERNING THE INSPECTION, DELINEATION, OR THIS REPORT, PLEASE FEEL FREE TO CONTACT ME.

THANK YOU,

Joseph R. Theroux

JOSEPH R. THEROUX
CERTIFIED SOIL SCIENTIST
MEMBER SSSSNE, NSCSS.



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

January 27, 2022

Fall Brook Investments, LLC.
89 Wauregan Road
Brooklyn, CT 06234

SUBJECT: FILE #5005059 – FALLBROOK ROAD #43, MAP #221, LOT #12, KILLINGLY, CT

Dear Fall Brook Investments, LLC.:

The subject plan (KILLINGLY ENGINEERING ASSOCIATES, FALL BROOK INVESTMENTS LLC, JOB#15053, DRAWN 05/12/2015, REVISED 07/15/2015, 12/29/21, REDLINED (FILL PKG CROSS SECTION) 01/27/2022) submitted on 12/30/2021 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 3-bedroom house based on the following:

1. CT licensed surveyor must stake house, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. Select fill is to be perced once in place.
6. A set of house plans must be submitted prior to an Approval to Construct Permit being issued.
7. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
8. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
9. A deep test pit in the south end area of the proposed septic system is required prior to the Permit to Construct being issued for verification of soil conditions. The \$110.00 fee for additional soil testing must be remitted prior to the sanitarian conducting the test.
10. Copy of deeded easement, filed on land records, to be submitted to NDDH prior to Permit to Construct being issued.
11. Electrical connection/trench not shown on plan - if between 5-25 feet to system, not to be backfilled with free draining material.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Brittany Otto, EHS, Environmental Health Specialist ~ NDDH
cc: Killingly Building Official; Killingly Engineering Associates

#21-001350

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of copy of Applicants notice to adjoining municipality _____

Application #: 21-1540

Date Submitted: 12/31/2021

Date of Receipt by Comm.: _____

Fee: \$160.00 paid check #10452 12/31/21

Staff Initials: LB

KILLINGLY INLAND WETLANDS & WATERCOURSES COMMISSION APPLICATION

A \$100.00 base fee (or, for a proposed subdivision, \$100.00 per lot, whichever is greater) plus \$40.00 state fee must accompany each application (Total fee: \$140.00). THIS FEE IS NON-REFUNDABLE. Checks or money orders should be made payable to the Town of Killingly. Public hearing fee: \$225.00 required in addition to the above fees if a public hearing is required by the commission(s) and not already included.

TO BE COMPLETED BY THE APPLICANT - PLEASE PRINT

Applicant's Name: FALL BROOK INVESTMENTS LLC - BRIAN MEEHAN

Day Phone #: 401-949-8600 Evening Phone #: 401-374-6543

Mailing Address: 89 WAUREGAN ROAD BROOKLYN CT 06234

Owner of Record: SAME

Mailing Address: _____ Phone #: _____

Applicant's interest in the land if the applicant is not the property owner: _____

Authorization of property owner: _____

LOCATION OF PROPERTY:

House # and Street: 43 FALL BROOK ROAD

Tax Map Number: 221 Block: - Lot: 12

Zoning District: LD Lot Size: 8.3± AC Lot Frontage: 52.86'

Easements and/or deed restrictions: 50' RIGHT OF WAY

PURPOSE:

Provide the purpose and description of the proposed activity, including a list of all proposed regulated activities:

PROPOSED SINGLE FAMILY RESIDENCE & GARAGE WITH ASSOCIATED WELL, SEPTIC & DRIVE WITHIN THE UPLAND REVIEW AREA

ON-SITE WETLANDS AND WATERCOURSES:

Windham County wetland soil types and areas of each type:

SEE ATTACHMENT

Watercourse(s) – type (pond, stream, marsh, bog, drainage ditch, etc.), manmade or natural, and area of each:

ALTERNATIVES:

List alternatives considered by the applicant and state why the proposal to alter wetlands as set forth in the application is necessary and was chosen:

N/A

MATERIALS:

Provide the volume (cubic yard) and nature of materials to be deposited and/or extracted:

N/A

MITIGATIVE MEASURES:

List measures to be taken to minimize or avoid any adverse impact on the regulated area:

SEE EROSION CONTROL NARRATIVE

BIOLOGICAL EVALUATION:

Describe the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed regulated activities on these communities and wetland functions:

SEE SOIL SCIENTIST REPORT

SITE PLAN*:

Scale 1"=40' showing existing and proposed conditions in relation to wetlands and water courses to include, but not be limited to:

Contours

Buildings

Wells

Driveways

Septic Systems

Drainage Systems (Including Culverts, Footing and Curtain Drains)

Erosion and Sedimentation controls

Wetlands

Watercourses

Areas of Excavation and /or Material Deposit

**Refer to Section 6.0 – Application Information Requirements and Section 7.0 – Application Evaluation Criteria of the Killingly Inland Wetlands & Watercourses Commission Regulations for information the Commission may require. Professionally prepared plans (Licensed Land Surveyor/Professional Engineer registered in the State of Connecticut, Soil Scientist) may be required for significant activities.*

ADDITIONAL INFORMATION:

List additional information submitted by the applicant:

The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly, Killingly Inland Wetlands & Watercourses Commission, and its agent (s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

Applicant's Signature: *[Signature]* Date: 12/29/2021
Owner of Record: *[Signature]* Date: 12/29/2021

Killingly Engineering Associates

Civil Engineering & Surveying



P.O. Box 421 Dayville, CT 06241
Phone: 860-779-7299
Fax: 860-774-3703

December 29, 2021

Proposed Residential Development

Fall Brook Investments, LLC
43 Fallbrook Road
Killingly, CT

21-1540
IWWC
PAID \$100.00
CHK. 10452
12/31/2021

APPLICATION PACKAGE CONTENTS – IWWC Application – (previously approved 6/1/2015)

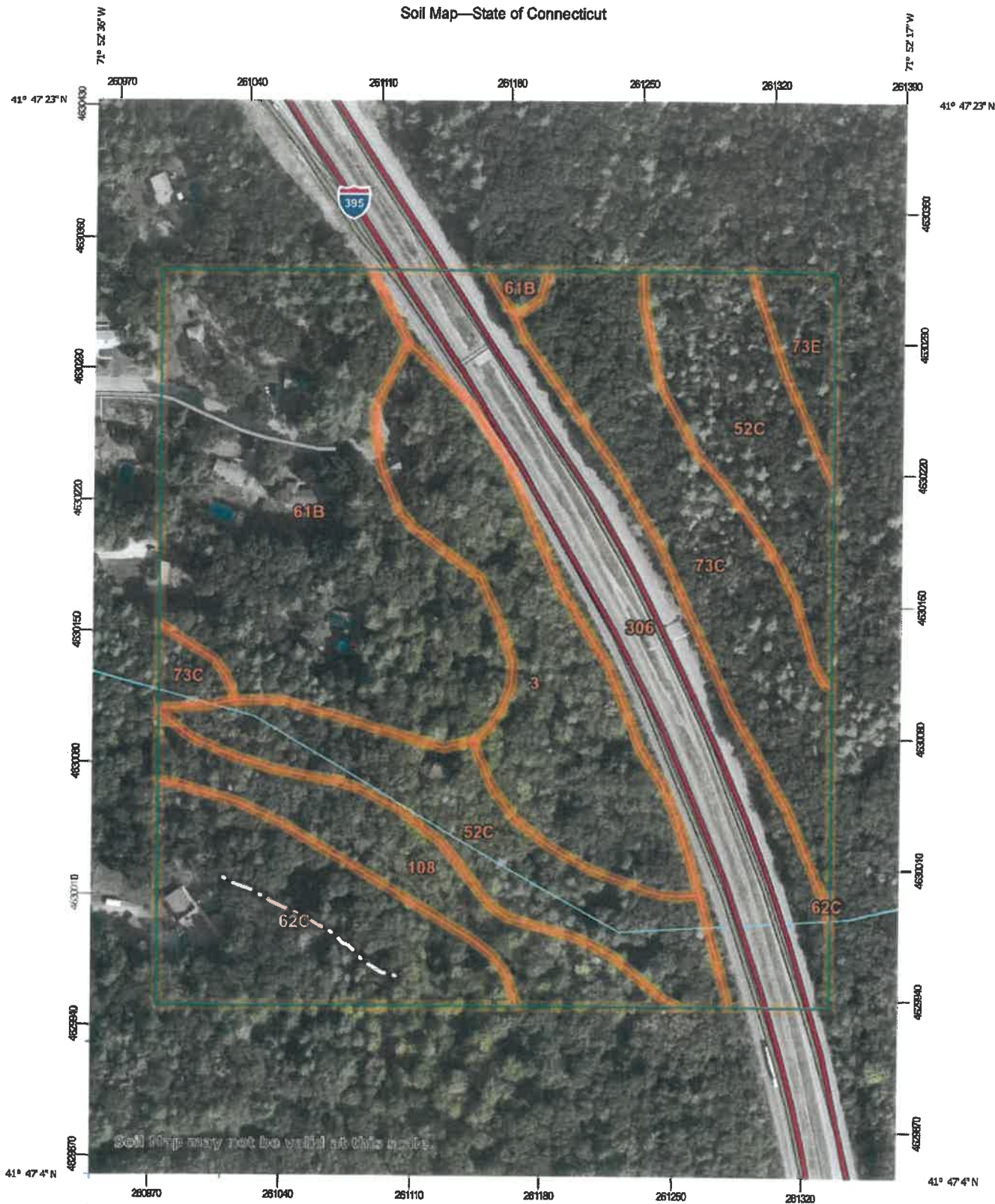
1. Application fee:
 \$100.00 (base fee)
 60.00 (state fee)
 \$160.00 (Total fee)
2. 3 - full sized sets of plans & 1 – 11 x 17 set – Dated: May 12, 2015 – Revised to: 12/29/2021
3. Inland Wetlands & Watercourses Commission Application
4. Web Soil Survey Data
5. Soil Scientist Report
6. GIS Mapping
7. List of Adjacent Land Owners (including across the street)
8. DEEP Reporting Form
9. Nitrogen Renovation Sketch & Calculations
10. Applicant's Certification

RECEIVED

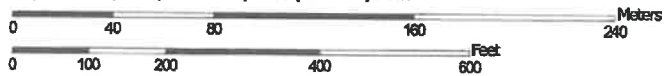
DEC 30 2021

PLANNING & ZONING DEPT.
TOWN OF KILLINGLY

Soil Map—State of Connecticut



Map Scale: 1:2,790 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

MAP LEGEND

- Area of Interest (AOI)
 - Area of Interest (AOI)
- Soils
 - Soil Map Unit Polygons
 - Soil Map Unit Lines
 - Soil Map Unit Points
- Special Point Features
 - Blowout
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gravelly Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Perennial Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features
 - Streams and Canals
- Transportation
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background
 - Aerial Photography
- Other
 - Spill Area
 - Story Spot
 - Very Story Spot
 - Wet Spot
 - Other
 - Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
 Survey Area Data: Version 21, Sep 7, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 16, 2020—Oct 1, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Ridgebury, Leicester, and Whitman soils, 0 to 8 percent slopes, extremely stony	4.3	12.3%
52C	Sutton fine sandy loam, 2 to 15 percent slopes, extremely stony	5.7	16.2%
61B	Canton and Charlton fine sandy loams, 0 to 8 percent slopes, very stony	8.4	24.0%
62C	Canton and Charlton fine sandy loams, 3 to 15 percent slopes, extremely stony	3.6	10.4%
73C	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	4.3	12.2%
73E	Charlton-Chatfield complex, 15 to 45 percent slopes, very rocky	0.7	2.0%
108	Saco silt loam	2.2	6.3%
306	Udorthents-Urban land complex	5.8	16.7%
Totals for Area of Interest		35.0	100.0%

Michael G. Schaefer
Certified Professional Soil Scientist
138 Coomer Hill Road
Dayville, CT 06241

Telephone: 860 779 1219

June 6, 2005

Greg Glaude, L.S.
Provost & Rovero, Inc.
57 East Main Street
P.O. Box 191
Plainfield, CT 06374

RE: Meehan Builders Project – Falls Brook Road, Killingly

Dear Greg:

I delineated the wetlands and watercourses on the above referenced property of approximately 8.5 acres on May 9, 2005. The wetlands are generally wooded, and the soils within the wetlands are extremely stony. Very poorly drained Whitman soil is dominant within the wetlands near the north end of the property along I-395. A considerable amount of the wetlands in this area are capable of seasonal ponding, and may have some physical vernal pool attributes. However, it appears that the value of this temporary pond for amphibian breeding habitat is diminished considerably because it receives direct runoff from I-395, which most likely introduces road salts and chemicals typically associated with high-volume roadways.

South of the proposed homesite (centrally located on the parcel), an extremely stony/bouldery intermittent watercourse, and its associated poorly drained Ridgebury and Leicester soils, drains east and then south to Falls Brook which is located near the south end of the property.

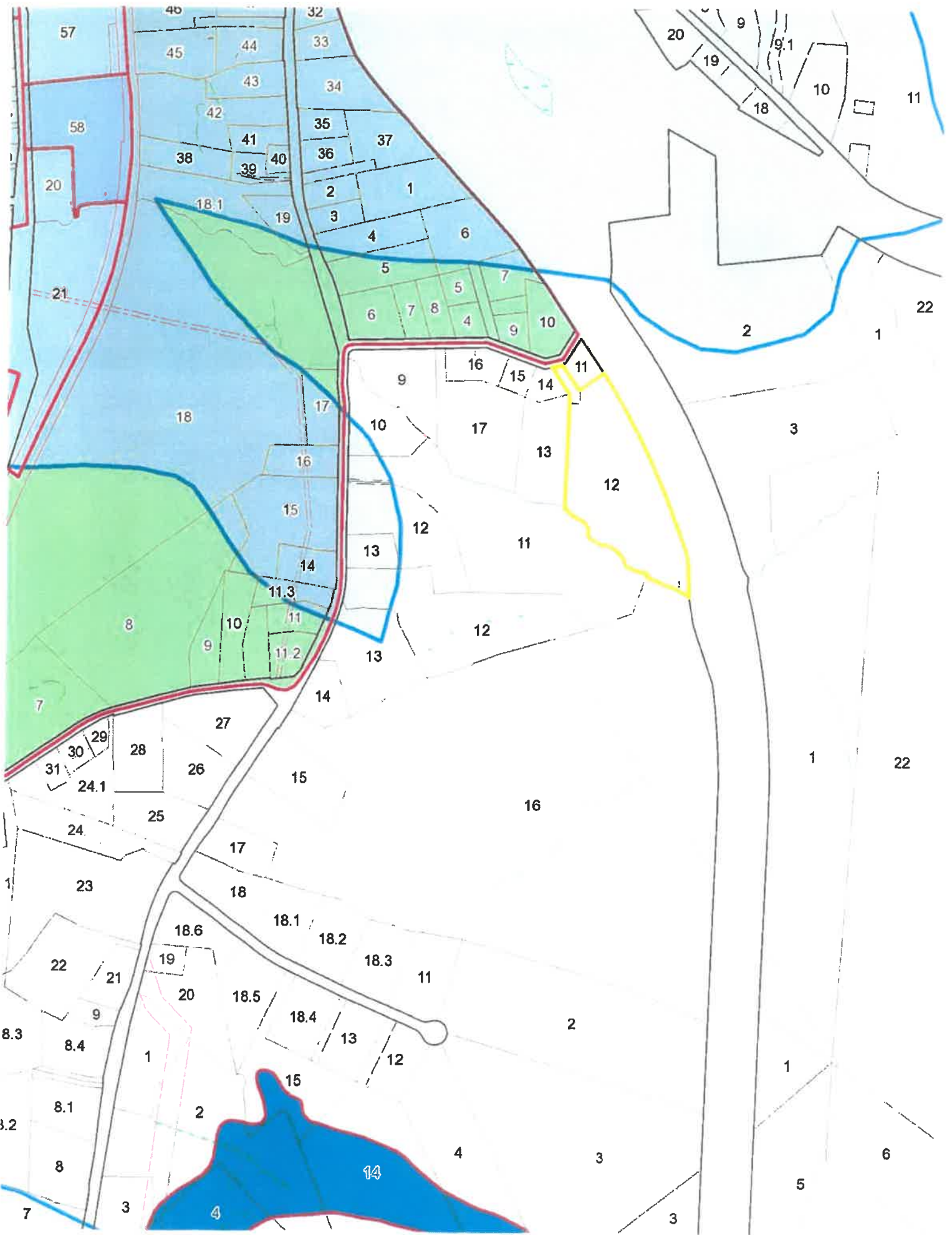
The uplands on the site are also wooded and comprised of well drained and moderately well drained soils of the Charlton and Sutton soils respectively.

Please contact me if you have any questions or need further information.

Sincerely,



Michael G. Schaefer, Sr., CPSS



LIST OF AJACENT LAND OWNERS INCLUDING ACROSS THE STREET as of 12/29/2021

***Fall Brook Investments, LLC
43 Fallbrook Road
Killingly, CT***

Job No. 15053

MAP/ LOT	NAME
221/13	Victor J. Bazinet 41 Fallbrook Road Killingly, CT 06239
221/14	Sarah D. Savoie & Joshua E. Dejesus 39 Fallbrook Road Danielson, CT 06239
221/11	Robert Lamirand 45 Fallbrook Road Killingly, CT 06239
221/10	Peter Beausoleil 42 Fallbrook Road Killingly, CT 06239
221/2	Sarah K. Fitch & Charles R. Fitch 205 East Franklin Street Killingly, CT 06239
221/3	Town of Killingly OF-092 KHS Forestry Trust 172 Main Street Killingly, CT 06239
236/1	Perschel Forest Management, Inc. 111 Brigham Street 28D Hudson, MA 01749
237/16	Brenda M. Parnell 290 Green Hollow Road Killingly, CT 06239
220/11	Robert E. Hays, II 210 Green Hollow Road Killingly, CT 06239



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106
Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): KILLINGLY
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: DANIELSON or number: 43
subregional drainage basin number: 3700
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): FALL BROOK INVESTMENTS LLC
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): 43 FALL BROOK ROAD
briefly describe the action/project/activity (check and print information): temporary permanent description: PROPOSED
3 BEDROOM HOUSE WITH ASSOCIATED GARAGE, WELL & SEPTIC
- ACTIVITY PURPOSE CODE (see instructions - one code only): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 2, 9, 12
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): 0.5± acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

STAFF REPORT

GENERAL INFORMATION: IWWC Application #22-1541

REQUEST: Application 22-1541 of Scott Person for jurisdictional ruling, a selective timber harvest of 188 acres (400,000 board feet) of approximate 215 acres, trees above 14" DBH, project includes 3 wetland crossings; 195, 241, 261, 275, 309, 333 & 351 Breakneck Hill Road; Map ID 9813, 7802, 5063, 9814, 5064, 5062 & 7803; Alt ID 91-2.1, 79-4, 79-1, 78-6, 78-3, 65-7 & 65-9; Rural Development Zone.

PURPOSE: Selective Timber Harvest

APPLICANT: Scott Person, Riendeau & Sons Logging, LLC

OWNER: Anthony Pulcinella

PARCEL ID: See above.

LOCATION: 195, 241, 261, 275, 309, 333 & 351 Breakneck Hill Road

ZONING: Rural Development Zone

REPORT BY: Jonathan Blake, Planner / Zoning Enforcement Officer

SUMMARY: The applicant applied for a jurisdictional ruling from the Commission for a selective timber harvest on properties owned by Anthony Pulcinella. The total acreage of the properties are 215 acres, and the harvest is 188 acres. The Supervising Forest Products Harvester, Scott Person submitted the Notification of Timber Harvest which reports 400,000 board feet (250 cords) to be harvested. Trees above 14" DBH to be harvest. There are 4 temporary crossings as depicted in the application which appear to be positioned to limit impacts. Start date of March 1, 2022.

REGULATION: See next page.

The “Forestry Practices Act” passed by the Connecticut General Assembly, under CT General Statutes Section 23-65(a) through (o), provides for the municipal regulation of forest practices, provided that such regulations are found to be consistent with state regulations under the Forest Practices Act (Amend. Effective Date: June 22, 1999).

a. Although selective cutting, timber stand improvements and other forest practices may be exempt from municipal permit requirements, this exemption must be established by the Municipal Agency or its duly authorized agent prior to the commencement of any forestry operations. A written request from the property owner must be submitted to the Agency or agent requesting it to rule whether a proposed operation is exempt and does not require a permit (Amend. Effective Date: June 22, 1999).

b. The following information is also required to be submitted in order for the agency or agent to rule in an effective manner:

1. A location map of the property;

2. A plan drawing showing the location of wetlands, watercourses logging roads, skidder trails and staging area locations and a description of the cutting activities proposed. In planning the project, structural improvements and other work in wetlands and watercourses should be limited to that which is essential for the particular forest practice. Adherence to best management practices for forest practices (bmp’s) is required for all projects, regardless of wetlands involvement (Amend. Effective Date: June 22, 1999).

c. If exemption under the non-regulated uses section of these regulations is claimed, appropriate documentation in support of the claim to exemption should be submitted. Connecticut’s Wetland laws envision that the person claiming exemption has the burden of demonstrating that he/she is entitled to it. (Amend. Effective Date: June 22, 1999).

d. Any temporary or permanent structural improvements such as bridges for crossing streams, culvert installations and roadway construction within wetlands and watercourses are regulated activities and require a permit (amend. effective date: , 1999).

e. If the agency or agent determines that the project, or a portion of it is not exempt from these regulations, a permit application must be filed. All regular application procedures and requirements shall apply. No work shall proceed prior to issuance of a permit or declaration of exemption by the Agency or Agent (Amend. Effective Date: June 22, 1999).

f. In any case, obstruction of water flow, creating slash piles within wetlands or watercourses, skidder trails which cause significant alteration of wetlands and/or watercourses, or erosion of soils from logging roads or skidder trails, into wetlands, may result in a forestry practice being found in violation of these regulations (Amend. Effective Date: June 22, 1999).

(Section 4.5, Town of Killingly Regulations for the Protection and Preservation of Inland Wetlands and Watercourses (Killingly IWWC Regulations).

RECOMMENDATION:

Provided all regulations in Section 4.5 (see above) are followed including installation with of an anti-tracking pad, per the Town of Killingly Engineering Department Specifications and all work is being done with under supervision by the Forest Products Harvester the work appears to be as of right. Note stumping of the lot, may require additional permitting from the Town and/or State.

NOTIFICATION OF TIMBER HARVEST

Town: Killingly Date: 12-27-21 (1/18/22)
Property Location: 333 Breakneck Hill Rd.

Assessor's Info:

Map	Block	Lot

OR:

Unique ID
<u>nine parcels depicted on map</u>

Total acreage of property(s): 215

Total acreage of harvest area: 188

Landowner(s) of Record: Anthony Pulcinella
Mailing Address: 70 Seaview Ave
Town: Branford CT Zip 06405
Phone (03) 488-6389
E-mail: _____

Primary Contact: Brian Rendeau
Mailing Address: 109 Suptna Rd.
Town: Ashford Ct Zip 06278
Phone (203) 429-7919
E-mail: _____

Note: Timber harvesting is a *Permitted as of Right Activity* pursuant to the Inland Wetlands and Watercourses Act, except for those practices regulated under Section 22a-36 through 22a-45 of the Connecticut General Statutes.

Is there a current forest management/stewardship plan for this property? Yes No

This timber harvest has been prepared by a State of Connecticut certified:
(Check one): Forester OR Supervising Forest Products Harvester

Forest Practitioner Certificate #: 1276
Name: Scott Person
Address: 265 Rt. 6 Andover Ct 06232
E-mail: scottperson@live.com
Phone #: (Business) _____ (Cell) 860-558-4271

Property Boundaries:
Bounds are marked: Yes No

Timber Harvest Boundaries:
Have been marked or flagged: Yes No

Have owners of all lands within 100 feet of the harvest area been notified via first-class mail prior to filing this "Notification of Timber Harvest"? Yes No

Estimated starting date of timber harvesting operations: 3/1/22

Description of Timber Harvest:

Objective: selective timber harvest of trees above 14 in. D.B.H.

Treatment: _____

Amount of forest products to be harvested:

400,000 Board feet 250 Cords _____ Cubic feet _____ Tons

How have the trees to be harvested been designated?

- They have been marked with paint at eye level and at ground level. Paint color(s): _____
- They have not been marked

SOIL, WATER AND INLAND WETLANDS RESOURCES

Actions Being Performed On This Land

(Check all that apply and locate on attached Timber Harvest Area map -- see information below on maps.)

<p><u>Crossings / Clearing</u></p> <p><input checked="" type="checkbox"/> Temporary stream/drainage crossing</p> <p><input checked="" type="checkbox"/> Temporary wetlands crossing</p> <p><input type="checkbox"/> Removal of trees in wetlands</p> <p><input checked="" type="checkbox"/> Removal of trees in upland review area</p>	<p><u>Erosion and Sedimentation Control Measures:</u></p> <p><input checked="" type="checkbox"/> Installation of water bars</p> <p><input checked="" type="checkbox"/> Grading</p> <p><input checked="" type="checkbox"/> Seeding</p> <p><input type="checkbox"/> Other (describe below)</p>
<p><u>Log landing area:</u></p> <p><input checked="" type="checkbox"/> Anti-tracking pad</p> <p><input type="checkbox"/> curb cut</p>	<p><u>Roads</u></p> <p>Are new roads, other than skid trails, to be constructed for transport of logs or other activities associated with this harvest?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>

Describe in further detail as necessary:

in narrative

The following maps are attached to this "Notification" (Check all that apply)

- Copy of USGS topographic map with property outlined
- Copy of Assessor's map with property outlined
- Timber Harvest Area map showing outline of harvest area, main skid road locations, log landing area, truck access roads, inland wetlands, watercourses and any crossings

The undersigned hereby swear that the information contained in this application is true, accurate and complete to the best of my (our) knowledge and belief and that the timber harvest will be conducted in accordance with the specifications outlined in this "Notification of Timber Harvest."

Signature of Landowner(s): *[Signature]* Date: 1/14/22

Print/Type Name: _____

Signature of Landowner(s): _____ Date: _____

Print/Type Name: _____

Signature of Certified Forest Practitioner: *[Signature]* Date: 12.27.21

Print Name: SCOTT PERSON

Certificate #: 1276 Expiration Date: 2/1/24

Complete and Submit to:

- The Municipal Inland Wetlands Agency/ies in which the property is located, and
- A courtesy copy of this Notification Form should also be sent to The Department of Environmental Protection, Division of Forestry 79 Elm Street, Hartford, CT, Tel: (860) 424-3630

This is not an official CT.DEP form but it has been endorsed for town usage by: CT Farm Bureau Assoc., CT Forest & Park Assoc., CT Professional Timber Producers, Society of American Foresters - CT Chapter, and others.

Pulcinella Timber Harvest Narrative
333 Breakneck Hill Rd.
Killingly Ct. 06241

12/27/21,

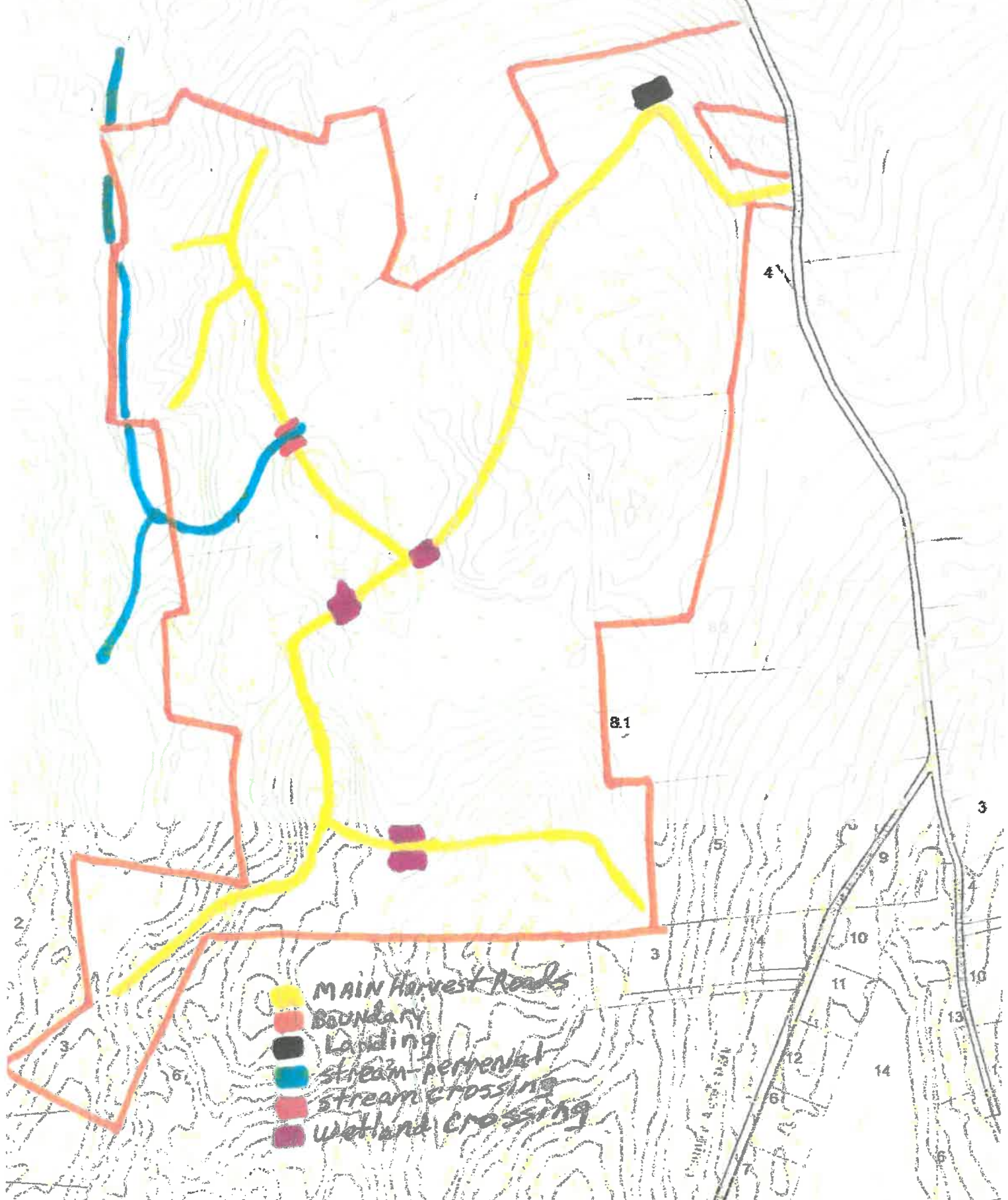
To Wetlands Board.

This is a timber harvest notification for property of Anthony Pulcinella on Breakneck Hill Rd. and the property is 215 acres. There are approx. 26 ac. of wetlands depicted on the town GIS website and I found an additional about a 1.5 acre area that is probably wetlands. These other wetlands are marked in the field with blue ribbon for the timber harvesters. I could find no vernal pools or intermittent streams. There is one perennial stream that I have marked on the map that drains the large 24 ac. wetland. All the harvest roads are marked in white ribbons and the boundaries are ribboned with orange and pink ribbons and painted in orange paint. There are 3 wetland crossings and one perennial stream crossing. All are depicted on the map and located in the field with blue ribbon at their locations. The main wetland crossings will be built with 5 x 22 ft. mats and is at an actual woodland road crossing that has been used for many years on this property, it has a hard ledge bottom. The other wetland crossings will also be built with the 5 x 22 ft. mats and the stream crossing will also be built with those same mats but will be built to keep the machinery out of the flow without impeding it. The landing is going to be in a dry area to the north east end of this property on the road that is existing on the property. There are a large number of existing roads that will be used at times. The harvest will be done with tracked forwarders and the harvest should take about 6 months, weather permitting. Conn. Timber Harvesting B.M.P.'s 2012 conn. Field guide will be followed. The timber harvest will be done by Riendeau and Sons Logging 860 429 7919. If you have any questions or I've missed something please call me.

Thank you Scott Person
860 558 4271

PVICINIA LIMBATA HARVEST

333 Breakneck Hill Rd.



STAFF REPORT

GENERAL INFORMATION: IWWC Application #22-1542

REQUEST: Application 22-1542 of Bluestone Meadow Properties LLC for construction of a single-family residence, septic system, and private well within 200' upland review area; 54 Breakneck Hill Road; Map ID 4401, Alt ID 116-15; Rural Development Zone.

PURPOSE: Applicant is looking to construct a single-family home on a wooded lot.

APPLICANT: Bluestone Meadow Properties LLC, (c/o Paul Londardo)

OWNER: Bluestone Meadow Properties LLC, (c/o Paul Londardo)

PARCEL ID: Map ID 4401, Alt ID 116 – Lot 15

LOCATION: 54 Breakneck Road

ZONING: Rural Development Zone

REPORT BY: Jonathan Blake, Planner / Zoning Enforcement Officer

SUMMARY: The applicant applied for an Authorized Agent Approval as all work is within the upland review area with no work within the wetland. The property consists of 41 acres with slopes greater than 15% outside of the proposed construction area. The construction site appears to be the best choice given the topography and not requiring wetlands disturbance.

REGULATION:

For subsurface sewage disposal system, tank, leach field, dry well, chemical waste disposal system, manure storage area, or any other pollution source

100' – inland wetlands, watercourses, rivers and perennial streams.

50' – wetland pockets and intermittent streams

(Section 6.3, Town of Killingly Regulations for the Protection and Preservation of Inland Wetlands and Watercourses (Killingly IWWC Regulations).

50' – Single and two-family residential structures

75' – Other main-use buildings or structures

100' – Accessory structures housing animals

50' – Other accessory structures

25' – Other accessory structures less than 150 square feet in size

25' – No disturbance wetland buffer

Separation distances listed above may be increased by the Commission if deemed necessary for the protection and preservation of the natural and indigenous character of the wetlands and/or watercourses system and riparian corridors due to site specific factors such as topography, slope, soil type, presence of rare, endangered and/or species of concern, unique or uncommon habitats, etc.

(Section 6.3, Killingly IWWC Regulations).

At any time during the review period, the Agency may require the applicant to provide additional information about the regulated area or regulated activity which is the subject of the application, or the wetlands or watercourses affected by the regulated activity. Requests for additional information shall not stay the time limitations as set forth in Subsection 11.2 of these regulations.

(Section 8.7, Killingly IWWC Regulations).

The Agency may delegate to its duly authorized agent the authority to approve or extend an activity that is not located in a wetland or watercourse when such agent finds that the conduct of such activity would result in no greater than a minimal impact on any wetlands or watercourses provided such agent has completed the comprehensive training program developed by the commissioner pursuant to section 22a-39 of the General Statutes. (Amend. Effective Date June 1, 1997)

(Section 11B.1, Killingly IWWC Regulations).

Notwithstanding the provisions for receipt and processing applications as prescribed in section 8 of these regulations, such agent may approve or extend an activity at any time. Any person receiving such approval from such agent shall, within ten days of the date of such approval, publish, at the applicant's expense, notice of the approval in a newspaper having a general circulation in the town wherein the activity is located or will have an effect. Any person may appeal such decision of such agent to the Agency within fifteen days after the publication date of the notice and the Agency shall consider such appeal at its next regularly scheduled meeting provided such meeting is no earlier than three business days after receipt by such Agency or its agent of such appeal. The Agency shall, at its discretion, sustain, alter, or reject the decision of its agent or require an application for a permit in accordance with section 7 of these regulations (Amend. Effective Date: June 22, 1999).

(Section 11B.2, Killingly IWWC Regulations).

RECOMMENDATION:

Having review the application and based on the above regulations, the Killingly Authorized Agent is looking to approve the application, with conditions:

- Provide a Copy of Northeast District Department of Health Approval.
- Install E&S prior to start of construction and maintain E&S controls around the onsite loam stockpile location; call for inspection by IWWC Authorized Agent.

IWWC # 22-1542 Paid \$210
1/26/22 submitted. Check # 001012

Property within 500' of adjoining Town boundary? _____
If so, which town(s)? _____
Date the notice was sent by KIWWC to town clerk of adjoining municipality(ies) _____
Receipt date of copy of Applicants notice to adjoining municipality _____

Zoning Permit Reference #: _____
Date of Staff Authorization: _____
Date of legal notice to be published _____
Appeal period ending: _____

KILLINGLY INLAND WETLAND AND WATERCOURSES COMMISSION
AGENT APPROVAL APPLICATION

A \$150.00 base fee plus a \$60.00 State fee must accompany each application (Total fee: \$210.00). ALL FEES AND ADVERTISING COSTS ARE NON-REFUNDABLE. Checks or Money orders should be made payable to the Town of Killingly.

TO BE COMPLETED BY THE APPLICANT - PLEASE PRINT:

Applicant's Name: Bluestone Meadow Properties LLC (c/o Paul Londardo)
Daytime Phone: 401-533-3842 Evening Phone: 401-533-3841
Mailing Address: 978 Hartford Pike, Killingly CT 06241
Owner of Record: Paul Lonardo Mailing Address: 978 Hartford Pike, Killingly CT 06241
Applicants interest in the Project (if not the property owner): owner is applicant
Authorization from property owner: _____

LOCATION OF THE PROPERTY/PROJECT:

House # and Street: 54 Breakneck Hill Road
Tax Map #: 116 Block: n/a Lot: 15
Zoning District: Rural Dev. Lot Size: 41 acres Lot Frontage: 315 feet

DESCRIBE THE PROPOSED ACTIVITY: (applicant must attach a scale drawing of the proposed activity showing north arrow, property boundaries, location of activity in relation to wetland/watercourse as well as steps to be taken to avoid any impacts to the wetlands and/or watercourses.)

The applicant is proposing to construct a single family dwelling, including a driveway and septic system.
All work will occur within the upland review area. No work is proposed within the wetlands.

The applicant understands that this application is to be considered complete only when all information and documents required by the Agent have been submitted. The undersigned warrants the truth of all statements contained herein and all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Killingly and applicable agent(s) to walk the land at reasonable times and perform those tests necessary to properly review the application, both before and after the approval is granted/issued.

Applicant's Signature:  Date: 1/25/2022
Owner of Record: _____ Date: _____

Reason for Agent approval: _____ DEP form completed: _____

Conditions attached to approval: _____

Authorized Agent Signature: _____ Date: _____

**J & D CIVIL
ENGINEERS, LLC**

401 Ravenelle Road
N. Grosvenordale, CT 06255
www.jdcivilengineers.com
(860) 923-2920

January 24, 2022

Jonathan Blake

Town of Killingly
Inland Wetlands and
Watercourses Commission

RE: Agent Approval Application
54 Breakneck Hill Road, Killingly CT

Dear Mr. Blake:

At the request of my client Paul Lonardo, this Agent Approval application is being submitted for single family construction on a vacant lot. Mr. Lonardo, the owner of Bluestone Meadow Properties LLC, is proposing to build a new structure for his personal use at 54 Breakneck Hill Road. The proposed construction will include a house with attached garage, septic system, well, and driveway.

The property in question is approximately 41 acres in size, and contains numerous wetland soils. The wetlands were delineated in 2006 by Michael Schaeffer, a certified soil scientist, who was working for Messier Associates Inc at the time. There is a large wetland area below the proposed construction, and there is also a small wetland pocket above the proposed construction. All construction is therefore within the Upland Review Area, and that line is being omitted from the site plan for clarity.

The attached site plan was designed with the goal of minimizing any wetland impacts, and no wetland disturbance is being proposed on the final site plan. We do not anticipate any negative effects on the wetland soils from this project. The site is not located within the boundaries of a Public Water Supply Watershed, or an Aquifer Protection Area, so those forms are not included with this application. Additionally, the project is not located within a Natural Diversity Database Area. Please do not hesitate to contact myself or the applicant with any questions.

Sincerely,



Daniel Blanchette, PE
J&D Civil Engineers LLC