TOWN OF KILLINGLY
INLAND WETLANDS AND WATERCOURSES COMMISSION

Monday, July 6, 2020

Regular Meeting
7:00 PM

AGENDA

Public can view this meeting on Facebook Live.
Go to www.killinglyct.gov and click on Facebook Live at the bottom of the page.

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **ADOPTION OF MINUTES – (Review/Discussion/Action)**

A. April 6, 2020 Regular Meeting Minutes

IV. **CITIZENS' PARTICIPATION** – Pursuant to Governor's Executive Order 7B, all public comment can be emailed to publiccomment@killinglyct.gov or mailed to Town of Killingly, 172 Main Street, Killingly, CT 06239 on or before the meeting. All public comment received prior to the meeting will be posted on the Town's website www.killinglyct.gov.

V. **Unfinished Business: – (Review/Discussion/Action)**

A. **Application 20-1482 of Patriot Homes LLC** for a 30 lot subdivision; with associated, grading, drainage, utilities; new roadway and stormwater basin within the 200' upland review area; Located at 215 Hartford Pike; GIS Map 108; Lot 4; 20.761 acres; Low Density Zone.

VI. **New Business:** (listed in order of receipt) – (Review/Discussion/Action)

A. **Application 20-1490 of James & Sheila Ilewicz** for Jurisdictional Ruling Notification of Timber Harvest; Located at 115 Lake Road; GIS Map 83; Lot 1; 50 acres; Rural Development Zone. *Application can be received and acted upon tonight.*

B. **Application 20-1491 of Town of Killingly** for Jurisdictional Ruling regarding property maintenance (CGS 22a-40-A-4) at Alexzander's Lake Overlay Zoning District. *Application can be received and acted upon tonight.*

C. **Application 20-1492 of Dennis Lawlor** for Jurisdictional Ruling regarding property maintenance (CGS 22a-40-A-4); Located at 1460 North Road; GIS Map 44; Lot 1; 1.9 acres; Rural Development Zone. *Application can be received and acted upon tonight.*

D. **Application 15-1413 of Snake Meadow Club** for a five (5) year extension from the October 5, 2015 approval of restoration and permitting of a gravel operation, which expires in October 5, 2020 to October 5, 2025; Located at 1460 North Road; GIS Map 44; Lot 1; 1.9 acres; Rural Development Zone. *Application can be received and acted upon tonight.*

If the application is complete the Commission shall decide if a public hearing and/or site walk should be held on each application and continue further action until next month's meeting. The Commission may also delegate to its duly authorized agent.

VII. Correspondence to the Commission

VIII. Staff Report

A. Authorized Agent Approvals

B. Monthly Zoning/Wetlands Report

C. Appointment of Authorized Agent (with this appointment the Town of Killingly now has three (3) members of Staff who can act as the Inland Wetlands Authorized Agents).

1. Ann-Marie Aubrey, Director of Planning and Development
2. Jonathan Blake, Zoning Enforcement Officer / Planner 1
3. Marina Capraro, Natural Resources Officer / Planning Assistant

IX. Town Council Liaison

X. Adjournment

TOWN OF KILLINGLY

INLAND WETLANDS AND WATERCOURSES COMMISSION (IWWC)

Killingly Town Hall
172 Main Street
Danielson, CT

REGULAR MEETING MINUTES

Monday, April 6, 2020

This meeting was held in virtual format with connections via live stream and video conferencing.

I. Call to order: Chairman Sandy Eggers called the meeting to order at 7:03 p.m.

II. Roll Call: **Present:** Chairman Sandy Eggers, Vice Chairman Rod Galton, Deborah Lamiotte, Beth Dubofsky-Porter, Fred Ruhlemann & Secretary Corina Torrey. **Absent**: Ronald Dass. **Also Present**: Jonathan Blake, Planner / Zoning Enforcement Officer, & Ernest Lee, Town Council Liaison.

III. Adoption of Minutes:

a. March 2, 2020 Regular Meeting:

MOTION #1 (04.06.20): made by Ms. Dubofsky-Porter **SECONDED BY** Vice Chairman Galton that the Inland Wetlands and Watercourses Commission approve the March 2, 2020 Regular Meeting Minutes - as amended:

1. meeting was called order at 7:00 p.m. not 7:30 p.m.

VOICE VOTE: UNANIMOUS; MOTION CARRIED

IV. Citizens' Participation: NONE.

V. Unfinished Business:

a. **Application #20-1482** Patriot Homes LLC for a 30 lot subdivision; with associated grading, drainage, & utilities, within 200'; new roadway and storm water basin within the 200' upland review area; Located at 215 Hartford Pike; GIS Map 108; Lot 4; 20.761 acres; Low Density Zone

APPLICANT / PRESENTATION: Applicant submitted an extension request and asked that the application be continued at the May 4, 2020 regular meeting.

IWWC COMMENTS/CONCERNS: There was previous consensus this project will require an in-depth drainage plan. The applicant should prepare such calculations and associated specifics should be duly noted on site plan set.

MOTION #2 (04.06.20): made by Ms. Dubofsky-Porter **SECONDED BY** Mr. Ruhlemann that the Inland Wetland and Watercourses accept the extension request submitted by applicant and table Application #20-1482, Patriot Homes LLC, to the next regular meeting of May 4, 2020
VOICE VOTE: UNANIMOUS; MOTION CARRIED

VI. New Business:

a. **Application #20-1483** Charles Myers for a single family home; with associated grading, drainage, utilities and septic and driveway within 200' foot upland review area; Located at 1526 Hartford Pike; GIS Map 99; Lot 2.2; 3.55 acres; Rural Development Zone.

APPLICANT / PRESENTATION: Mr. Myers noted his intent is to build a retirement home. The applicants Engineer, David Blanchette, noted this application was part of a 2004 approved sub-division. IWWC approval was granted for similar construction. The driveway has been constructed but not the house. There will be no proposed work in wetlands. Grading and clearcutting will take place in the wetlands upland review area.

TOWN STAFF / ENGINEERING REPORT: Mr. Blake indicated the Town Engineer, David Capacchione, previously submitted his staff report for this project. Items of concern included, but were not limited to, need for an anti-tracking pad, driveway permit & details, and planting of grass.

MOTION #3 (04.06.20): made by Mr. Ruhlemann **SECONDED BY** Vice Chairman Galton that the Inland Wetland and Watercourses approve Application #20-1483, Charles Myers, with the following condition:

1. The applicant work with Town Engineer, David Capacchione, to meet all requirements

VOICE VOTE: UNANIMOUS; MOTION CARRIED

b. **Application #20-1485** Raymond Preece for a single family home (first split) ; with associated grading, drainage, utilities and septic and driveway within 200' foot upland review area; with 150' of wetlands disturbance; Located at 126 Ballouville Road; GIS Map 54; Lot 2.1; 2.1 acres; Low Density Zone.

APPLICANT / PRESENTATION: Ray Preece was present.

TOWN STAFF / ENGINEERING REPORT: Mr. Blake indicated the Town Engineer, David Capacchione, previously submitted his staff report for this project and had some concerns. Those concerns were provided to the applicant just very recently. The Applicants Engineer, Paul Terwilliger, addressed those comments and submitted plans today addressing all concerns.

IWWC COMMENTS: Mr. Galton was concerned that in reference to the lay of the property and amount of adequate acreage to construct the home, the applicant should not be proposing 150 feet of wetlands disturbance as this could be avoided. Mrs. Lamiotte feels Town Staff did not have adequate time to review modified plans as they were just submitted this afternoon.

MOTION #4 (04.06.20): made by Vice Chairman Galton **SECONDED BY** Ms. Dubofsky-Porter that the Inland Wetland and Watercourses approve Application #20-1485, Raymond Preece, with the following condition:

1. The applicant work with the Town Engineer, Mr. David Capacchione, & the Wetlands Agent, Jonathan Blake to meet all requirements and to minimize wetlands disturbance as much as possible.

VOICE VOTE: UNANIMOUS; MOTION CARRIED

VII. Correspondence to the Commission:

a. **Application #20-1487 Estate of Judith Jackson, for Notification of Timber Harvest;** Located at 115 Lake Road; GIS Map 83; Lot 1; 50 acres; Rural Development Zone.

TOWN STAFF REPORT: Mr. Blake noted this application is for correspondence only. A renewal application is required every three years by the State of CT. **NO ACTION REQUIRED.**

b. **Application #20-1489 of NTE Connecticut LLC for Standard DEEP Notification of Tentative Decision.** Located at 189 Lake Road; GIS Map 83; Lot 6; 62 acres; Rural Development Zone. **NO ACTION REQUIRED.**

VIII. Staff Report:

a. Authorized Agent Approval:

1. **Application #20-1488** Replace field at KHS with artificial turf. Mr. Blake noted Town Staff, the Board of Education, and Superintendent of Schools has completed a comprehensive review of this proposed project. A file has been developed by Town Staff containing plans, specifications, and information.

2. Monthly Zoning/Wetland Report: N/A

IX. Town Council Liaison: Ernest Lee, Town Council Liaison, provided an overview of recent Town activities.

X. Adjournment

MOTION #5 (04.06.20): made by Mr. Galton **SECONDED BY** Ms. Dubofsky-Porter that the Inland Wetland and Watercourses Commission adjourn at 7:50 p.m.
VOICE VOTE: UNANIMOUS; MOTION CARRIED

Respectfully submitted, *Sherry Pollard,*
IWWC Recording Secretary

Killingly Engineering Associates
Civil Engineering & Surveying
P.O. Box 421 Killingly, CT 06241
Phone: 860-779-7299
www.killinglyengineering.com

April 6, 2020

Mr. David Capaccione, P.E.
Town of Killingly Department of Engineering
Killingly Town Hall
172 Main Street
Killingly, CT 06239

RE: Proposed 30-Lot Subdivision
Hartford Pike (Route 101)

Dear Mr. Capacchione;

In response to your review comment on the aforementioned project Dated February 27, 2020, we offer the following:

1. Pre and post development drainage computations are enclosed herein for your review;
2. The existing CL&P Easement is contiguous to the previously approved development at the end of Cardinal Drive. For that project, CL&P required a 10ô separation from all structures from that easement which we have maintained for this project.
3. The initial review of the project by CTDOT did not take issue with the 5% grade proposed for the site entrance. We respectfully request that the Town of Killingly consider the same;
4. The sidewalk detail has been modified accordingly to show a broom finish;
5. Traffic signs and pavement markings have been added at the site entrance per CTDOT review and locations of speed limit signs have been shown on the plans;
6. Plans have been submitted to the fire marshal for review as requested;
7. Grading has been modified at the site entrance to alleviate some of the excessive grading shown previously. In general, slopes do not begin until approximately 15ô off the traveled way.
8. Gravel maintenance access has been shown to the stormwater basin.
9. We concur that the construction access and permanent roadway entrance will require CTDOT approval. We have submitted plans to the CTDOT and received review comments which we have addressed and resubmitted to the CTDOT;
10. Air testing of sewer lines shall be conducted as required and it is noted on the cover sheet of the plans;
11. We concur that bonding for the project will be required and a bond estimate for public improvements and E&S controls is included with this submission. We note on the cover sheet that no work shall commence until the bond has been posted;
12. We acknowledge that all materials shall me approved prior to installation and that sieve, proctor and compaction testing will be required. This is noted on the cover sheet of the plans;
13. The requirement of a $700.00 connection fee for each sanitary sewer connection has been noted on the cover sheet of the plans;
14. As required, the sewer department will be contacted prior to any proposed sanitary sewer connections. We acknowledge that any connections made and backfilled may be required to be re-exposed for Town inspection;
15. Pedestrian safety is addressed by installation of sidewalks. The project proposes to complete construction of the roadway prior to constructing any homes which will alleviate potential pedestrian conflicts;

16. A registration under the CTDEEP General Permit for the Discharge of Stormwater Associated with Construction Activities will be completed and submitted to CTDEEP upon receipt local approvals and 90 days prior to construction;
17. CTDOT has reviewed the plans and forwarded comments. Killingly Engineering addressed those comments and resubmitted plans back to the CTDOT for final approval;
18. We have enclosed a spec sheet for the typical residential grinder pump that could be utilized for this application. The final selection will be determined by the contractor or distributer;
19. It is our understanding that the long-term maintenance of the low-pressure sanitary sewer system is not something that the Town of Killingly is interested in assuming. We will propose to create a homeownerôs association to maintain the system;
20. The force main is installed with backflow prevention at each connection point. It is highly unlikely that there would be simultaneous failure at multiple points to the extent where sewerage would drain back to the manhole;
21. The sediment forebay of the basin is in an area comprised of sand and gravel and will remain dry. The second bay of the basin is anticipated to have approximately 1ô of water in it seasonally as it will be excavated 1ô below the adjacent wetland level. Test hole results excavated in the area have been added to the plans.
22. Detail sheet has been modified to show a single type of silt fence;
23. The inclusion of a hydrant on the previous plans was erroneous and it has been removed from the plans;
24. Each house will have an individual drilled well and there is no need for a water connection detail as shown previously. It has been removed from the plans;
25. It is noted that underdrains may need to be installed if groundwater is encountered during construction;
26. As-build drawings will be provided in hard copy and AutoCAD upon completion of the project;
27. The pipe schedule sheet has been completed;
28. Riprap Swales can be re-evaluated. We would like to discuss options with the Town at their convenience.
29. Double catch basins are proposed at each side of the road at the site entrance. We do not anticipate significant water entering Route 101 and the CTDOT did not express any concerns.

We trust that the plans as modified address the February 27th review comments. Please feel free to contact us if there are any further questions or concerns.

Sincerely;

Normand Thibeault, Jr

Normand Thibeault, Jr., P.E.

PROPOSED 30 LOT CONSERVATION SUBDIVISION

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

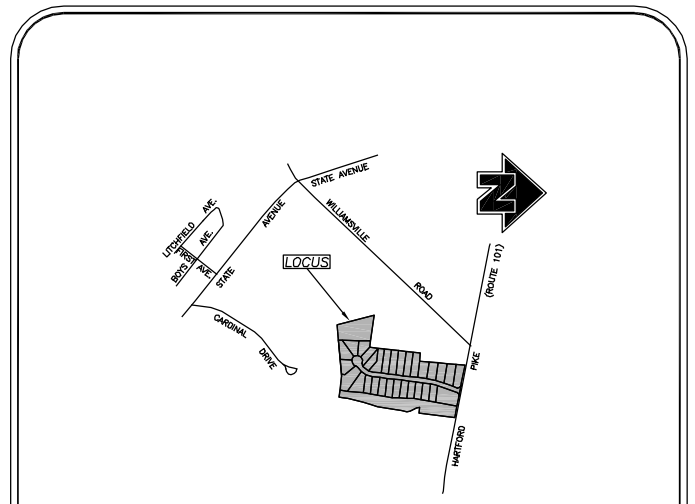
PREPARED FOR:

PATRIOT HOMES, LLC

TOTAL AREA OF PARCEL TO BE SUBDIVIDED = 20.761 ACRES
MINIMUM OPEN SPACE REQUIREMENT – 30% = 6.2 ACRES
OPEN SPACE PROPOSED = 5.519 ACRES
BANKED OPEN SPACE FROM PREVIOUS APPROVAL = 5.966 ACRES
TOTAL OPEN SPACE PROPOSED = 11.485 ACRES
AREA OF SLOPES >20% IN OPEN SPACE PARCEL = 2.4 ACRES
OPEN SPACE WITH SLOPES <20% = 9.085 ACRES

LEGEND

●	IRON PIN TO BE SET
⊙	IRON PIN FOUND
✪ DH	DRILL HOLE FOUND
■	CONCRETE MONUMENT TO BE SET
⊙ WG	WATER GATE
□ CB	EXISTING CATCH BASIN
◩	PROPOSED CATCH BASIN
○ SMH	EXISTING SANITARY SEWER MANHOLE
◕	PROPOSED SANITARY SEWER MANHOLE
——— BL ———	BUILDING SETBACK LINE
– – –100– – –	EXISTING CONTOURS
——(100)——	PROPOSED CONTOURS
———S———	PROPOSED SANITARY SEWER LINE
———E&T———	PROPOSED UNDERGROUND UTILITIES
———OHW———	PROPOSED OVERHEAD WIRES
⬭⬭⬭⬭⬭⬭⬭	STONE WALL
⬭ ⬭ ⬭ ⬭	STONE WALL REMAINS
▬ ▬ ▬ ▬ ▬	SILT FENCE



LOCATION MAP
SCALE: 1" = 1000'

INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 14
PROPERTY SURVEY	2 OF 14
SUBDIVISION MAP	3 OF 14
EASEMENT MAP	4 OF 14
SITE DEVELOPMENT PLAN No. 1	5 OF 14
SITE DEVELOPMENT PLAN No. 2	6 OF 14
PROPOSED PLAN & PROFILE No. 1 *STATION 0+00 TO STATION 9+00*	7 OF 14
PROPOSED PLAN & PROFILE No. 2 *STATION 9+00 TO STATION 14+00*	8 OF 14
SIGHTLINE DEMONSTRATION PLAN	9 OF 14
PARCEL HISTORY MAP	10 OF 14
DETAIL SHEET No. 1	11 OF 14
DETAIL SHEET No. 2	12 OF 14
DETAIL SHEET No. 3	13 OF 14
SUBDIVISION YIELD PLAN	14 OF 14

GENERAL NOTES:

1. AIR TESTING OF SANITARY SEWER LINES SHALL BE REQUIRED.
2. NO CONSTRUCTION SHALL COMMENCE UNTIL CONTRACTOR/OWNER HAS PROVIDED BONDING IN ACCORDANCE WITH TOWN APPROVALS.
3. ALL MATERIALS MUST BE PRE-APPROVED PRIOR TO INSTALLATION. SIEVE, PROCTOR AND COMPACTION TESTING OF ALL SOILS AND PAVEMENT USED DURING CONSTRUCTION WILL BE REQUIRED PRIOR TO APPROVAL.
4. THE TOWN OF KILLINGLY CURRENTLY REQUIRES A FEE OF $700.00 PER UNIT FOR SANITARY SEWER CONNECTIONS.
5. THE TOWN OF KILLINGLY SEWER DEPARTMENT SHALL BE CONTACTED PRIOR TO ANY CONNECTIONS. ANY CONNECTIONS NOT WITNESSED AND BACKFILLED MAY BE REQUIRED TO BE UNCOVERED FOR INSPECTION.
6. PROJECT WILL REQUIRE REGISTRATION UNDER THE CTDEEP GENERAL PERMIT FOR DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES

APPROVED BY THE TOWN OF
KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.

THE APPLICANT WILL CONTACT THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION'S AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.

Subdivision Plan No:

APPROVED BY THE TOWN OF
KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

PREPARED BY:

REVISIONS	
DATE	DESCRIPTION
2/20/2020	*FINAL PLAN REVIEW*
4/06/2020	*PER ENGINEERING REVIEW*

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

January 2020

NORMAND E. THIBEAULT, JR., P.E. DATE

SHEET 1 OF 14
JOB NO: 16130

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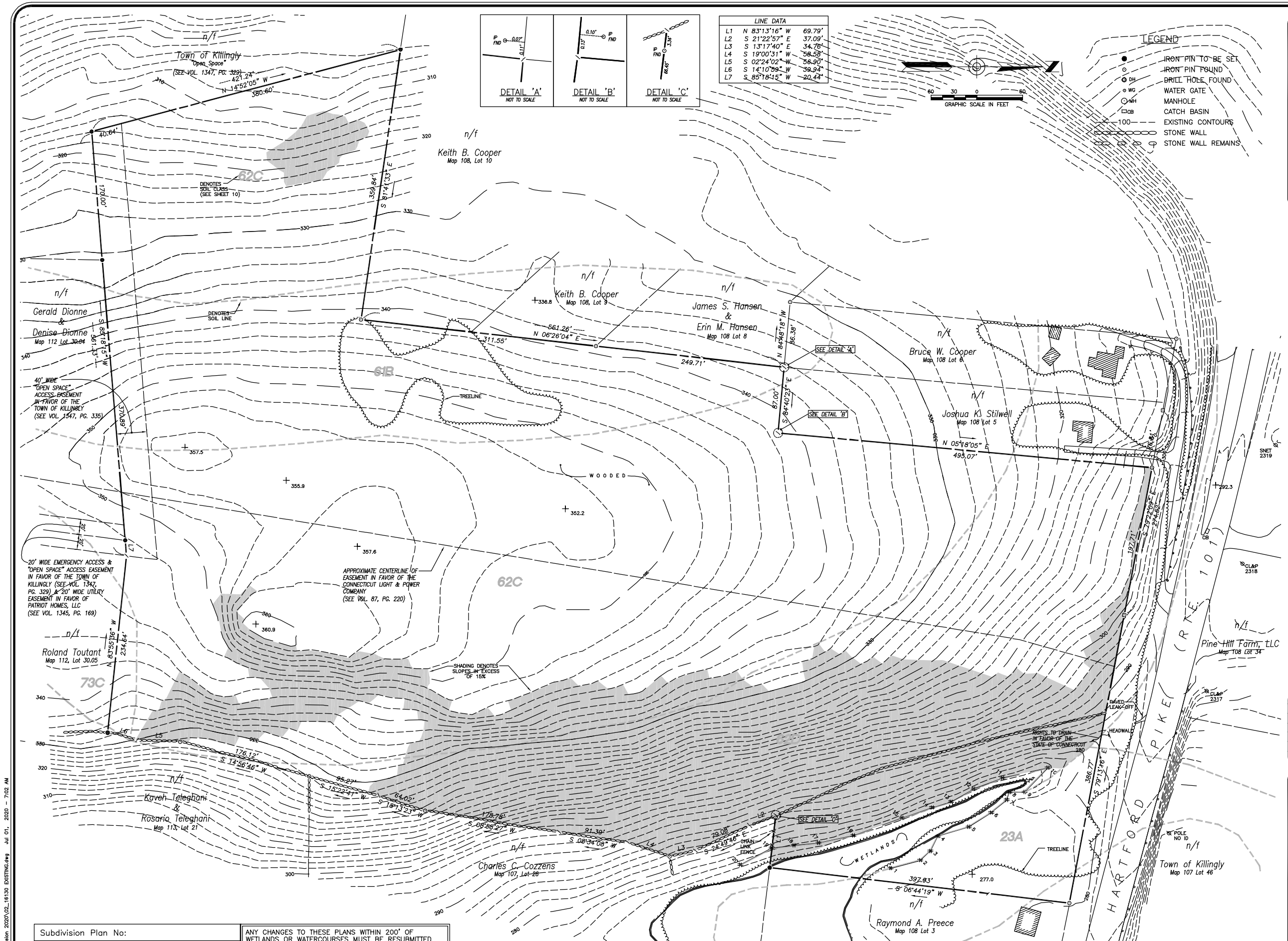

1. This survey has been prepared pursuant to the regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
   - This survey conforms to a Class "A-2" horizontal accuracy.
   - Survey Type: Property Survey.
   - Boundary Determination Category: Dependent Resurvey.
   - Topographic features conform to a Class "T-2", "V-2" vertic accuracy.
2. Zone = LD.
3. Owner of record: Patriot Homes, LLC
   189 Watch Hill Drive
   Westerly, RI 01891
   See Vol. 1046, Pg. 215
4. Parcel is shown as Lot #4 on Assessors Map #108.
5. Elevations shown are based on an North American Vertical Datum of 1988 (NAVD 88). Contours taken from the Town of Killingly's GIS data. Contour interval = 2'.
6. Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map #090136 Panel 0004B Effective Date: January 3, 1985.
7. Wetlands shown were flagged in the field by Pinecrest Environmental Services, LLC and are taken from map reference #1.

MAP REFERENCE:

1. "Subdivision Map No. 1 & Subdivision Map No. 2- Prepared for Connecticut Home Builders – Hartford Pike (Route 101) & Cardinal Drive – Killingly, Connecticut – Scale: 1" = 60' Date: 10/1/2004 – Revised to: 10/26/2006 – Sheets 2 of 23 & 3 of 23 – Prepared by: Provost & Rovero, Inc." Not on file.
2. "Property Survey – Showing Boundary Line Adjustment and Parcel Consolidation – Between Property of – Patriot Homes, LLC and Property of – Jill Marquardt – Hartford Pike (Route 101) & Cardinal Drive– Killingly, Connecticut – Scale: 1" = 80' – Date: 11/02/2017 –Revised to: 11/29/2017 – Sheet 1 of 1 – Prepared by: Killingly Engineering Associates." On file in the Town of Killingly Land Records as Map #6985.
3. "Subdivision Map – Prepared for – Jill Marguardt, Trustee Cardinal Drive – Killingly, Connecticut – Scale: 1" = 60' – Date: 11/07/2017 – Revised to: 11/08/2018 – Sheet 3 of 8 – Prepared by: Killingly Engineering Associates." On file in the Town of Killingly Land Records as Map #7070.

DATE	DESCRIPTION
4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW

REVISIONS

PROPERTY SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 60'	DESIGN: NET
SHEET: 2 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.

THE APPLICANT WILL CONTACT THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION'S AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.

APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

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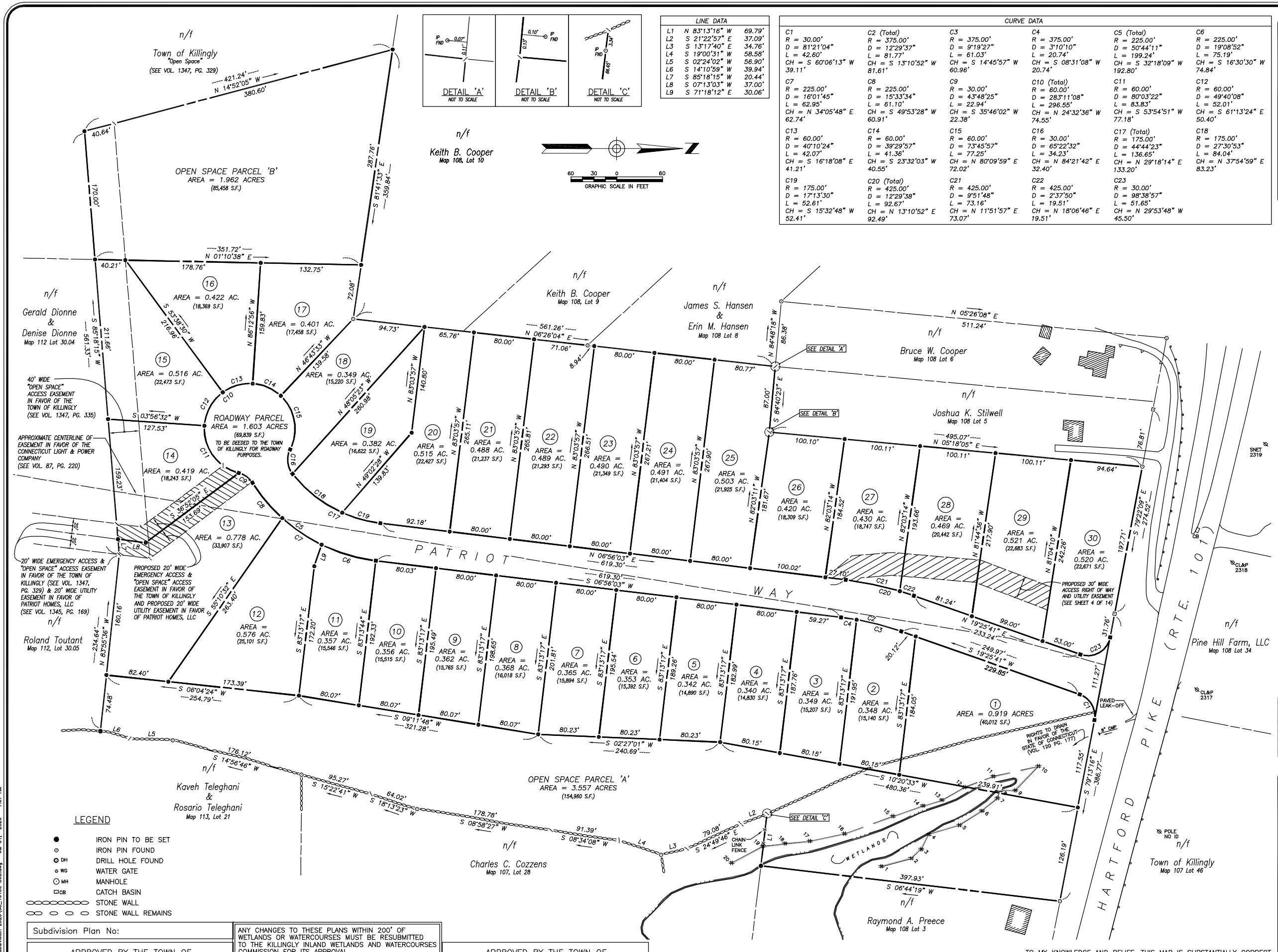


LINE DATA		
L1	N 83°13'16" W	69.79'
L2	S 21°22'57" E	37.09'
L3	S 13°17'40" E	34.76'
L4	S 19°00'31" W	58.58'
L5	S 02°24'02" W	56.90'
L6	S 14°10'59" W	39.94'
L7	S 85°18'15" W	20.44'
L8	S 07°13'03" W	37.00'
L9	S 71°18'12" E	30.06'

CURVE DATA					
C1 R = 30.00' D = 81°21'04" L = 42.60' CH = S 60°06'13" W 39.11'	C2 (Total) R = 375.00' D = 12°29'37" L = 81.77' CH = S 13°10'52" W 81.61'	C3 R = 375.00' D = 9°19'27" L = 61.03' CH = S 14°45'57" W 60.96'	C4 R = 375.00' D = 3°10'10" L = 20.74' CH = S 08°31'08" W 20.74'	C5 (Total) R = 225.00' D = 50°44'11" L = 199.24' CH = S 32°18'09" W 192.80'	C6 R = 225.00' D = 19°08'52" L = 75.19' CH = S 16°30'30" W 74.84'
C7 R = 225.00' D = 16°01'45" L = 62.95' CH = N 34°05'48" E 62.74'	C8 R = 225.00' D = 15°33'34" L = 61.10' CH = S 49°53'28" W 60.91'	C9 R = 30.00' D = 43°48'25" L = 22.94' CH = S 35°46'02" W 22.38'	C10 (Total) R = 60.00' D = 283°11'08" L = 296.55' CH = N 24°32'36" W 74.55'	C11 R = 60.00' D = 80°03'22" L = 83.83' CH = S 53°54'51" W 77.18'	C12 R = 60.00' D = 49°40'08" L = 52.01' CH = S 61°13'24" E 50.40'
C13 R = 60.00' D = 40°10'24" L = 42.07' CH = S 16°18'08" E 41.21'	C14 R = 60.00' D = 39°29'57" L = 41.36' CH = S 23°32'03" W 40.55'	C15 R = 60.00' D = 73°45'57" L = 77.25' CH = N 80°09'59" E 72.02'	C16 R = 30.00' D = 65°22'32" L = 34.23' CH = N 84°21'42" E 32.40'	C17 (Total) R = 175.00' D = 44°44'23" L = 136.65' CH = N 29°18'14" E 133.20'	C18 R = 175.00' D = 27°30'53" L = 84.04' CH = N 37°54'59" E 83.23'
C19 R = 175.00' D = 17°13'30" L = 52.61' CH = S 15°32'48" W 52.41'	C20 (Total) R = 425.00' D = 12°29'38" L = 92.67' CH = N 13°10'52" E 92.49'	C21 R = 425.00' D = 9°51'48" L = 73.16' CH = N 11°51'57" E 73.07'	C22 R = 425.00' D = 2°37'50" L = 19.51' CH = N 18°06'46" E 19.51'	C23 R = 30.00' D = 98°38'57" L = 51.65' CH = N 29°53'48" W 45.50'	

LEGEND

- ● IRON PIN TO BE SET
- ⊙ IRON PIN FOUND
- ⊙ DH DRILL HOLE FOUND
- ⊙ WG WATER GATE
- ⊙ MH MANHOLE
- □ CB CATCH BASIN
- STONE WALL
- STONE WALL REMAINS

NOTES:

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20–300b–1 through 20–300b–20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
   - This survey conforms to a Class "A–2" horizontal accuracy.
   - Survey Type: Subdivision Map.
   - Boundary Determination Category:
     Along Existing Property Lines: Dependent Resurvey.
     Along Proposed Property Lines: Original Survey.
2. Total area of subdivision = 20.761 Acres.
3. Zone = LD.
4. Owner of record: Patriot Homes, LLC
   189 Watch Hill Drive
   Westerly, RI 01891
   See Vol. 1046, Pg. 215
5. Parcel is shown as Lot #4 on Assessors Map #108.
6. Elevations shown are based on an North American Vertical Datum of 1988 (NAVD 88). Contours taken from the Town of Killingly's GIS data. Contour interval = 2'.
7. Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map #090136 Panel 0004B Effective Date: January 3, 1985.
8. Wetlands shown were flagged in the field by Pinecrest Environmental Services, LLC and are taken from map reference #1.

MAP REFERENCE:

1. "Subdivision Map No. 1 & Subdivision Map No. 2– Prepared for Connecticut Home Builders – Hartford Pike (Route 101) & Cardinal Drive – Killingly, Connecticut – Scale: 1" = 60' Date: 10/1/2004 – Revised to: 10/26/2006 – Sheets 2 of 23 & 3 of 23 – Prepared by: Provost & Rovero, Inc." Not on file.
2. "Property Survey – Showing Boundary Line Adjustment and Parcel Consolidation – Between Property of – Patriot Homes, LLC and Property of – Jill Marquardt – Hartford Pike (Route 101) & Cardinal Drive– Killingly, Connecticut – Scale: 1" = 80' – Date: 11/02/2017 –Revised to: 11/29/2017 – Sheet 1 of 1 – Prepared by: Killingly Engineering Associates." On file in the Town of Killingly Land Records as Map #6985.
3. "Subdivision Map – Prepared for – Jill Marquardt, Trustee Cardinal Drive – Killingly, Connecticut – Scale: 1" = 60' – Date: 11/07/2017 – Revised to: 11/08/2018 – Sheet 3 of 8 – Prepared by: Killingly Engineering Associates." On file in the Town of Killingly Land Records as Map #7070.

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
REVISIONS	

SUBDIVISON MAP

PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 60'	DESIGN: NET
SHEET: 3 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:	ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.
APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION CHAIRMAN DATE Expiration date per Sec. 8.26c, Conn. Gen. Statutes:	THE APPLICANT WILL CONTACT THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION'S AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.

APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

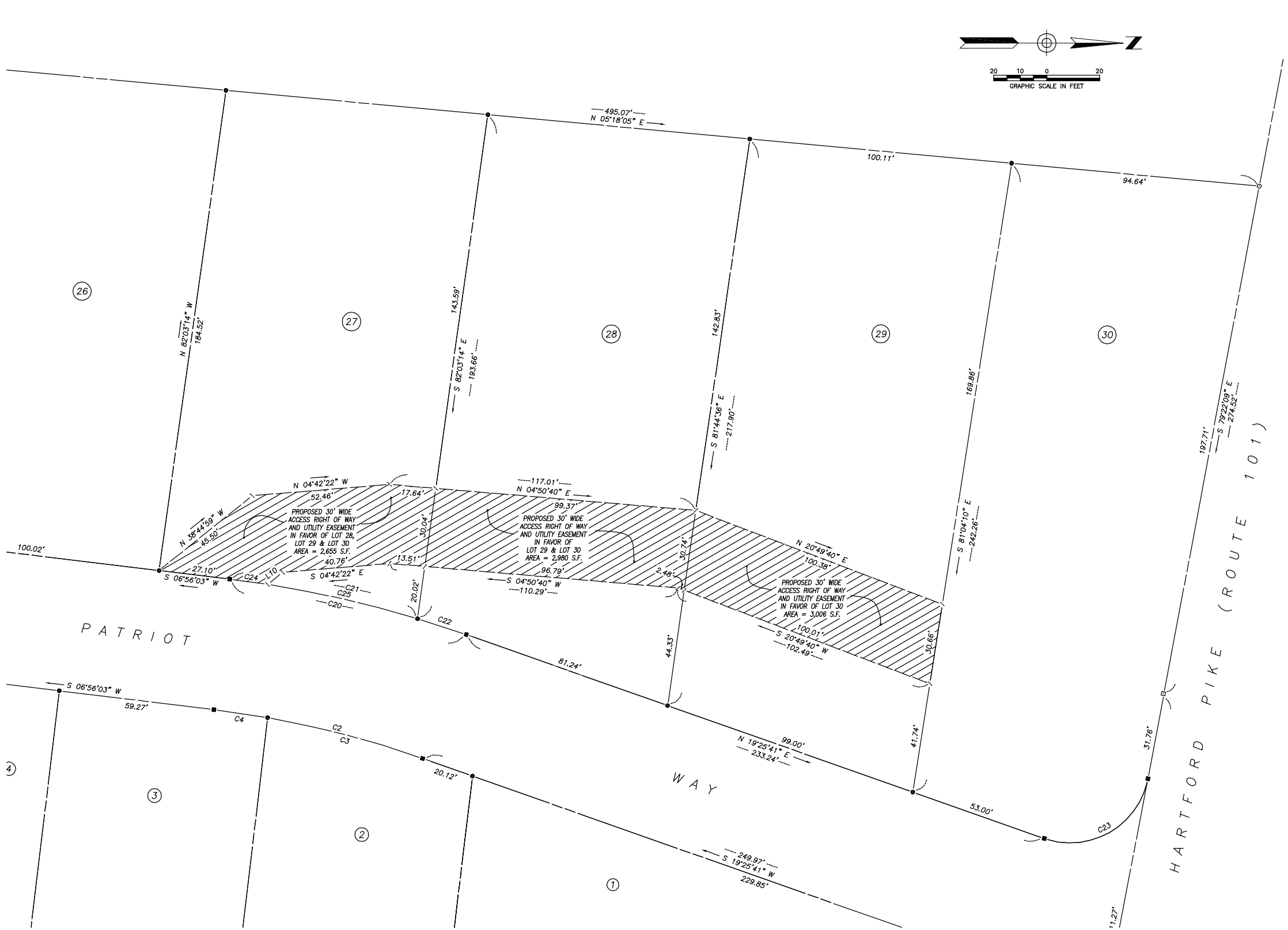
CHAIRMAN DATE

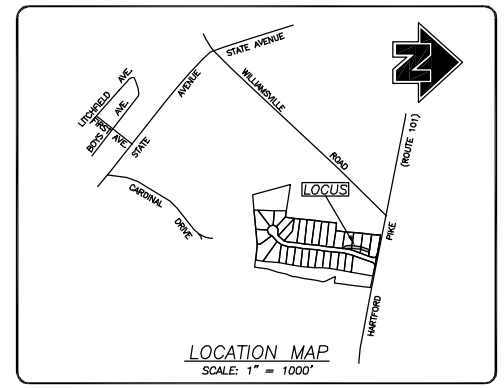
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

K:\16130\Drawings\Subdivision 2020\03_16130 SUB.dwg Jul 01, 2020 - 7:07 AM





LOCATION MAP
SCALE: 1" = 1000'

LINE DATA	
L10	S 38°44'59" E 7.37'

CURVE DATA		
C2 (Total) R = 375.00' D = 12°29'37" L = 81.77' CH = S 13°10'52" W 81.61'	C3 R = 375.00' D = 9°19'27" L = 61.03' CH = S 14°45'57" W 60.96'	C4 R = 375.00' D = 3°10'10" L = 20.74' CH = S 08°31'08" W 20.74'
C20 (Total) R = 425.00' D = 12°29'38" L = 92.67' CH = S 13°10'52" W 92.49'	C21 (Lot Total) R = 425.00' D = 9°51'48" L = 73.16' CH = S 11°51'57" W 73.07'	C22 R = 425.00' D = 2°37'50" L = 19.51' CH = S 18°06'46" W 19.51'
C23 R = 30.00' D = 98°38'57" L = 51.65' CH = S 29°53'48" E 45.50'	C24 R = 425.00' D = 1°57'58" L = 14.58' CH = S 07°55'02" W 14.58'	C25 R = 425.00' D = 7°53'50" L = 58.58' CH = S 12°50'56" W 58.53'

NOTES:

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
   - This survey conforms to a Class "A-2" horizontal accuracy.
   - Survey Type: Easement Map.
2. Owner of record: Patriot Homes, LLC
   189 Watch Hill Drive
   Westerly, RI 01891
   See Vol. 1046, Pg. 215

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
REVISIONS	

EASEMENT MAP

PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 20'	DESIGN: NET
SHEET: 4 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

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APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

LEGEND

● IRON PIN TO BE SET
⊙ IRON PIN FOUND

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

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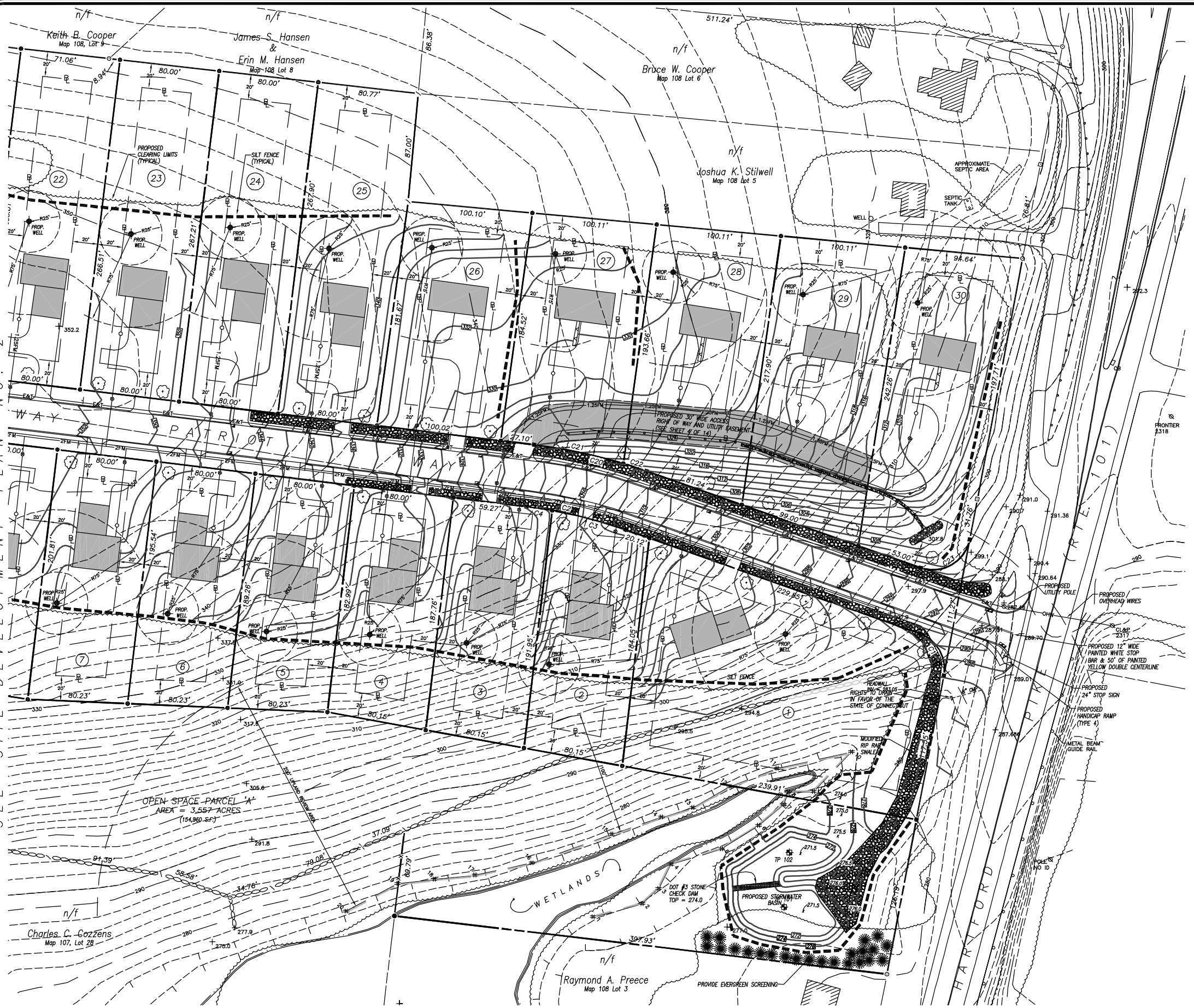

GRAPHIC SCALE IN FEET
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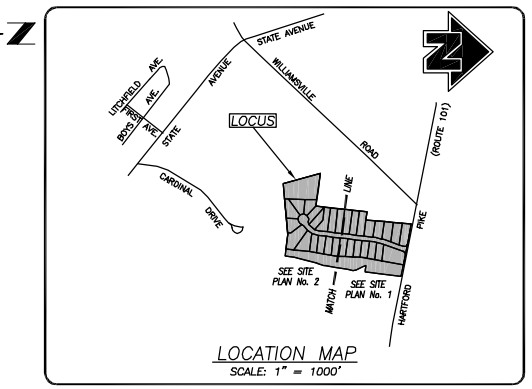
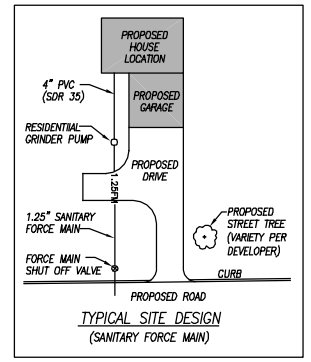
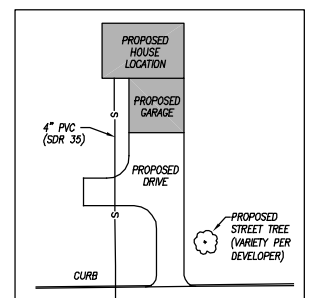


LOCATION MAP
SCALE: 1" = 1000'

CURVE DATA					
C1	C2 (Total)	C3	C4	C5 (Total)	C6
R = 30.00'	R = 375.00'	R = 375.00'	R = 375.00'	R = 225.00'	R = 225.00'
L = 42.60'	L = 81.77'	L = 61.03'	L = 20.74'	L = 199.24'	L = 75.19'
C7	C8	C9	C10 (Total)	C11	C12
R = 225.00'	R = 225.00'	R = 30.00'	R = 60.00'	R = 60.00'	R = 60.00'
L = 62.95'	L = 61.10'	L = 22.94'	L = 296.55'	L = 83.83'	L = 52.01'
C13	C14	C15	C16	C17 (Total)	C18
R = 60.00'	R = 60.00'	R = 60.00'	R = 30.00'	R = 175.00'	R = 175.00'
L = 42.07'	L = 41.36'	L = 77.25'	L = 34.23'	L = 136.65'	L = 84.04'
C19	C20 (Total)	C21	C22	C23	
R = 175.00'	R = 425.00'	R = 425.00'	R = 425.00'	R = 30.00'	
L = 52.61'	L = 92.67'	L = 73.16'	L = 19.51'	L = 51.65'	



TYPICAL SITE DESIGN
(SANITARY FORCE MAIN)



TYPICAL SITE DESIGN
(GRAVITY SANITARY SEWER)

FOR ALL STORM DRAINAGE AND SANITARY SEWER STRUCTURE SCHEDULES SEE SHEET 8.

LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- DH DRILL HOLE FOUND
- CONCRETE MONUMENT TO BE SET
- WG WATER GATE
- CB EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- SMH EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- BUILDING SETBACK LINE
- 100 EXISTING CONTOURS
- 100 PROPOSED CONTOURS
- S PROPOSED SANITARY SEWER LINE
- E&T PROPOSED UNDERGROUND UTILITIES
- OHW PROPOSED OVERHEAD WIRES
- STONE WALL
- STONE WALL REMAINS
- SILT FENCE

DATE	DESCRIPTION
4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW

REVISIONS

SITE DEVELOPMENT PLAN NO. 1

PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 5 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

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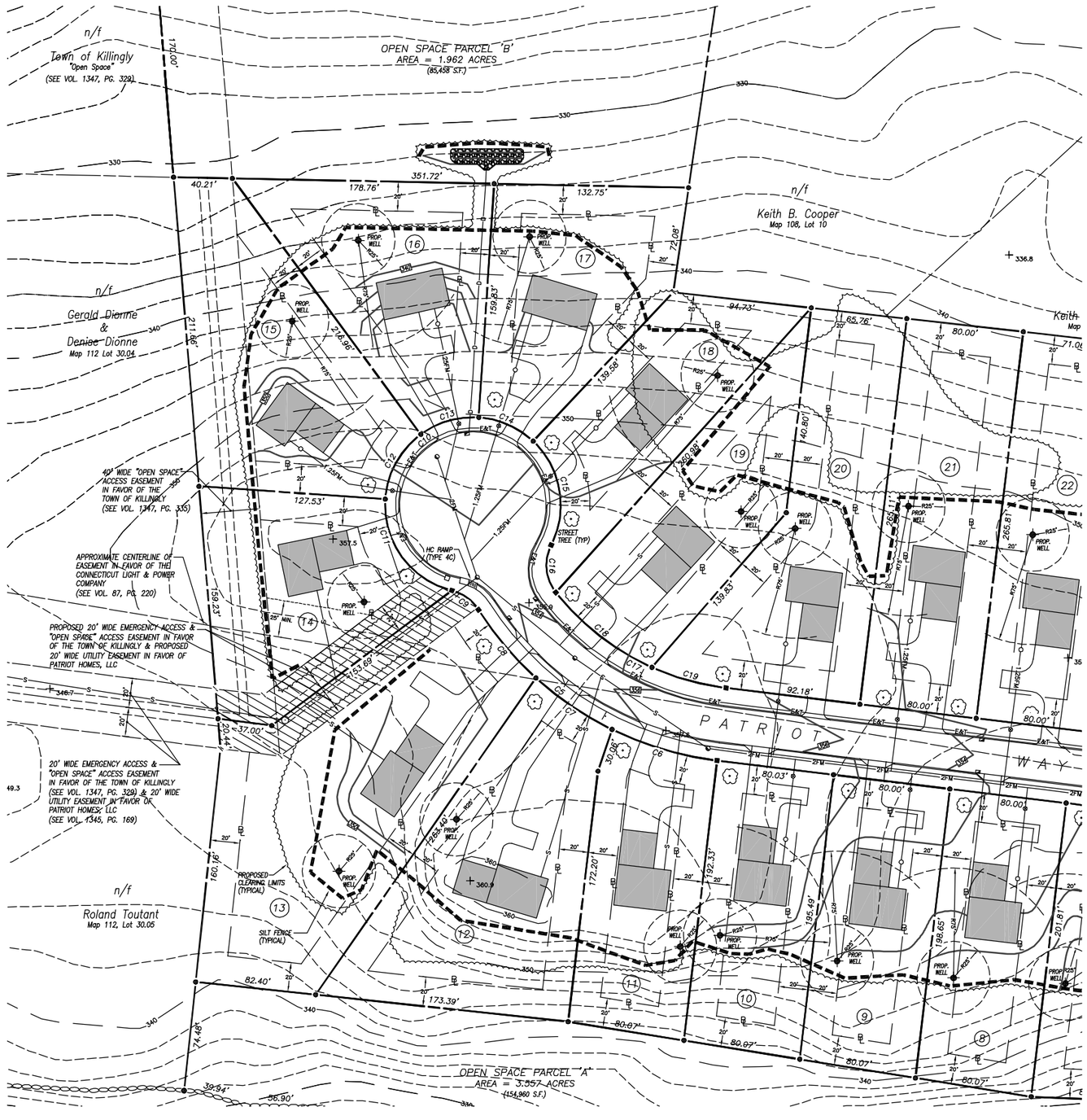
APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

BEFORE YOU DIG
CALL BEFORE YOU DIG
AT LEASE TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

NORMAND E. THIBEAULT, JR., P.E. DATE

K:\16130\Drawings\Subdivision 2020\05-06_16130 SITE PLANS.dwg Jul 01, 2020 - 7:15 AM



SEE SITE DEVELOPMENT PLAN NO. 1

CURVE DATA					
C1 R = 30.00' L = 42.60'	C2 (Total) R = 375.00' L = 81.77'	C3 R = 375.00' L = 61.03'	C4 R = 375.00' L = 20.74'	C5 (Total) R = 225.00' L = 199.24'	C6 R = 225.00' L = 75.19'
C7 R = 225.00' L = 62.95'	C8 R = 225.00' L = 61.10'	C9 R = 30.00' L = 22.94'	C10 (Total) R = 60.00' L = 296.55'	C11 R = 60.00' L = 83.83'	C12 R = 60.00' L = 52.01'
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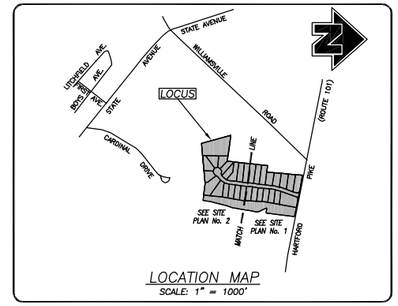
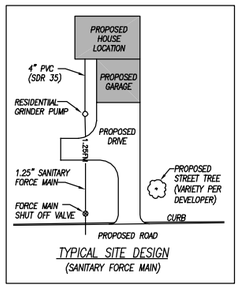
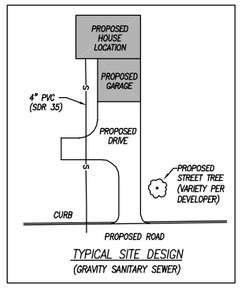


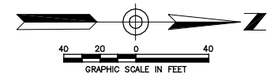
LOCATION MAP
SCALE: 1" = 1000'



TYPICAL SITE DESIGN
(SANITARY FORCE MAIN)



TYPICAL SITE DESIGN
(GRAVITY SANITARY SEWER)



FOR ALL STORM DRAINAGE AND SANITARY SEWER STRUCTURE SCHEDULES SEE SHEET 8.

LEGEND

●	IRON PIN TO BE SET
⊙	IRON PIN FOUND
DH	DRILL HOLE FOUND
■	CONCRETE MONUMENT TO BE SET
WG	WATER GATE
CB	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
SMH	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
B/L	BUILDING SETBACK LINE
100	EXISTING CONTOURS
100	PROPOSED CONTOURS
S	PROPOSED SANITARY SEWER LINE
E&T	PROPOSED UNDERGROUND UTILITIES
OHW	PROPOSED OVERHEAD WIRES
	STONE WALL
	STONE WALL REMAINS
	SILT FENCE

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
REVISIONS	

SITE DEVELOPMENT PLAN NO. 2

PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 6 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

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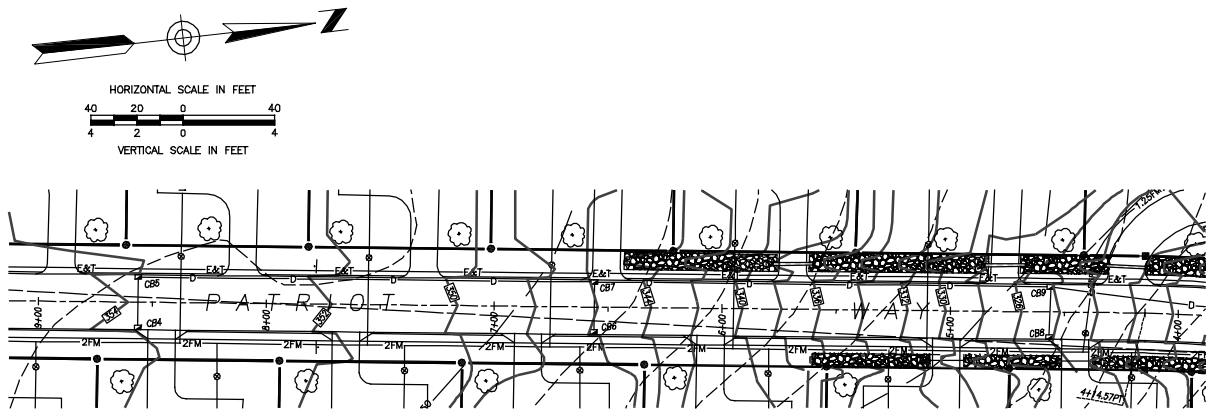
APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

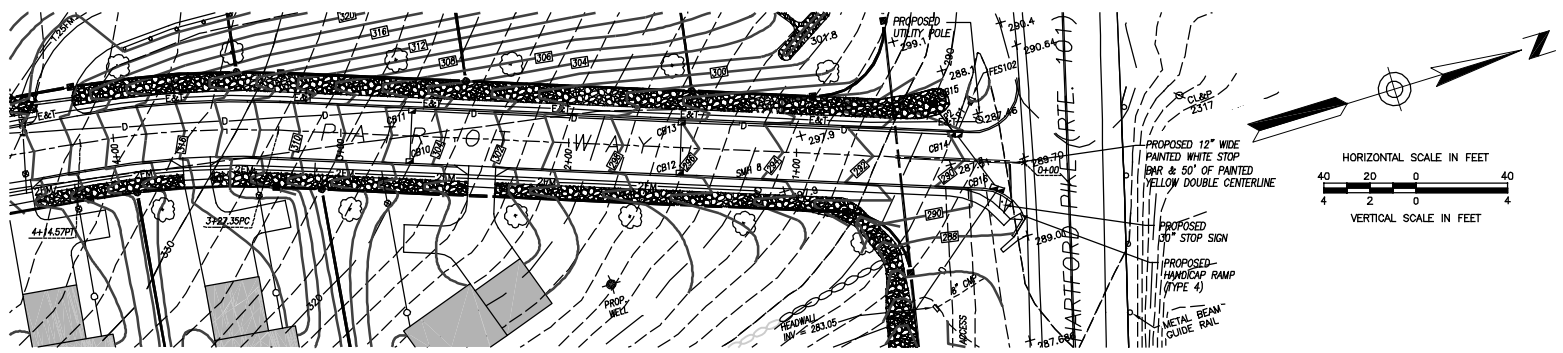
CHAIRMAN DATE

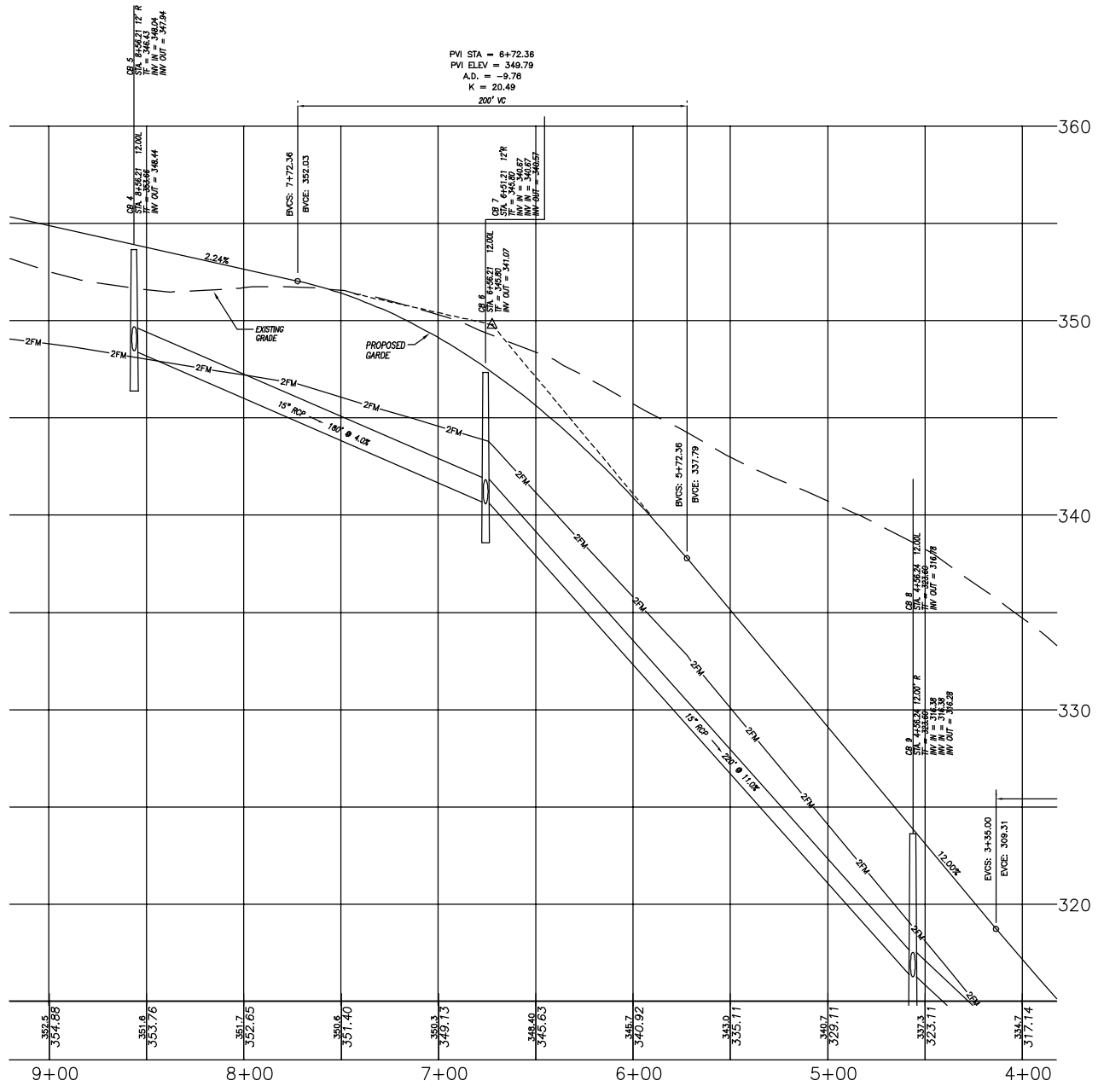
BEFORE YOU DIG CALL BEFORE YOU DIG
AT LEASE TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

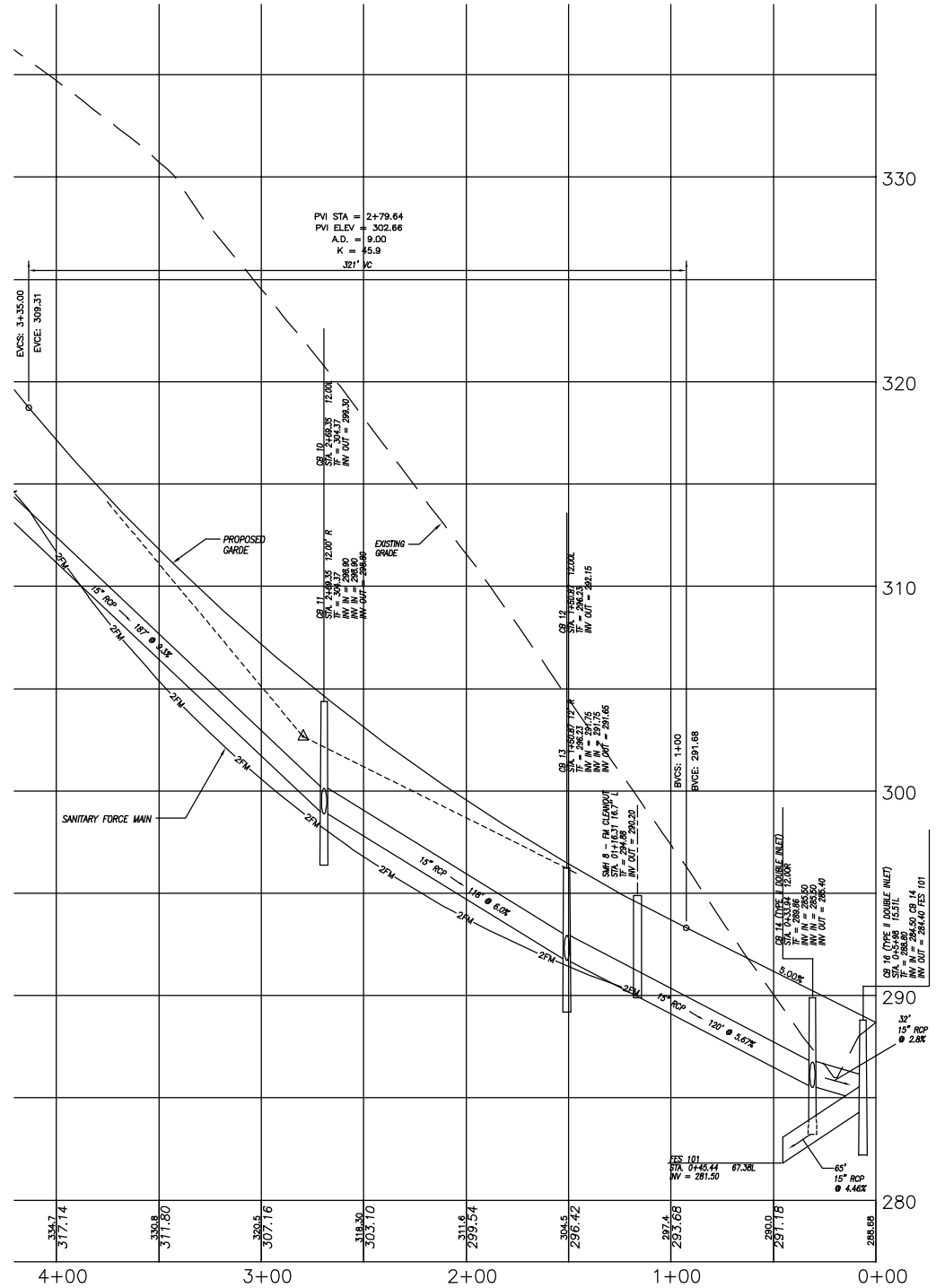
NORMAND E. THIBEAULT, JR., P.E. DATE

K:\16130\Drawings\Subdivision 2020\05-06_16130 SITE PLANS.dwg Jul 01, 2020 - 7:17 AM









FOR ALL STORM DRAINAGE AND SANITARY SEWER STRUCTURE SCHEDULES SEE SHEET 8.

BEFORE YOU DIG
CALL BEFORE YOU DIG
AT LEASE TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- DRILL HOLE FOUND
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- PROPOSED CATCH BASIN
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- SILT FENCE

DATE	DESCRIPTION
4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW

REVISIONS

PROPOSED PLAN & PROFILE No. 1
STATION 1+00 TO 9+00
PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
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www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 7 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

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APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

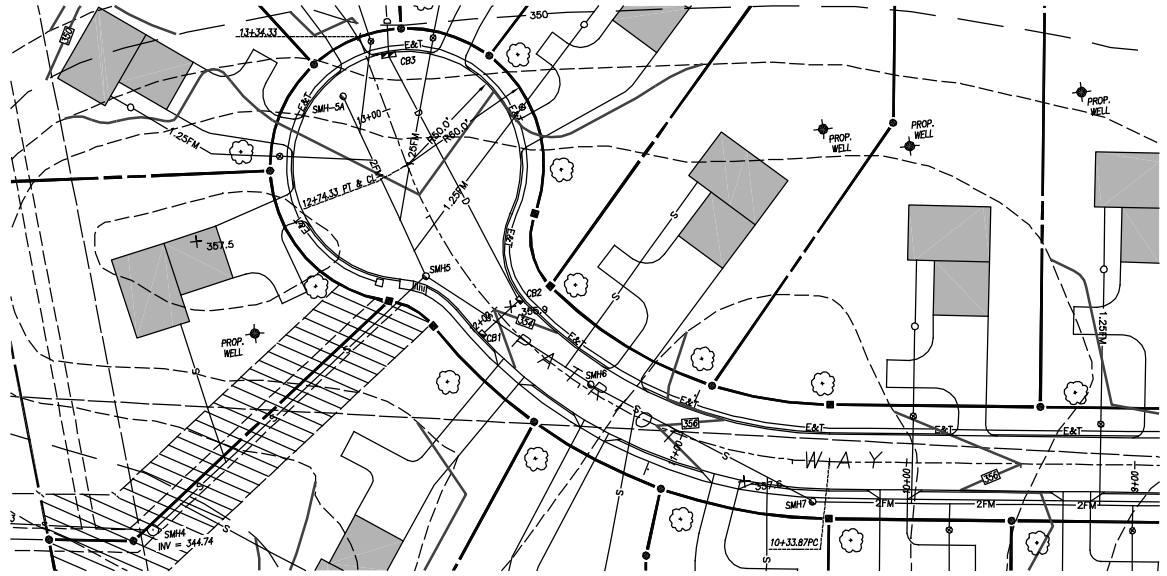
NORMAND E. THIBEAULT, JR., P.E. DATE

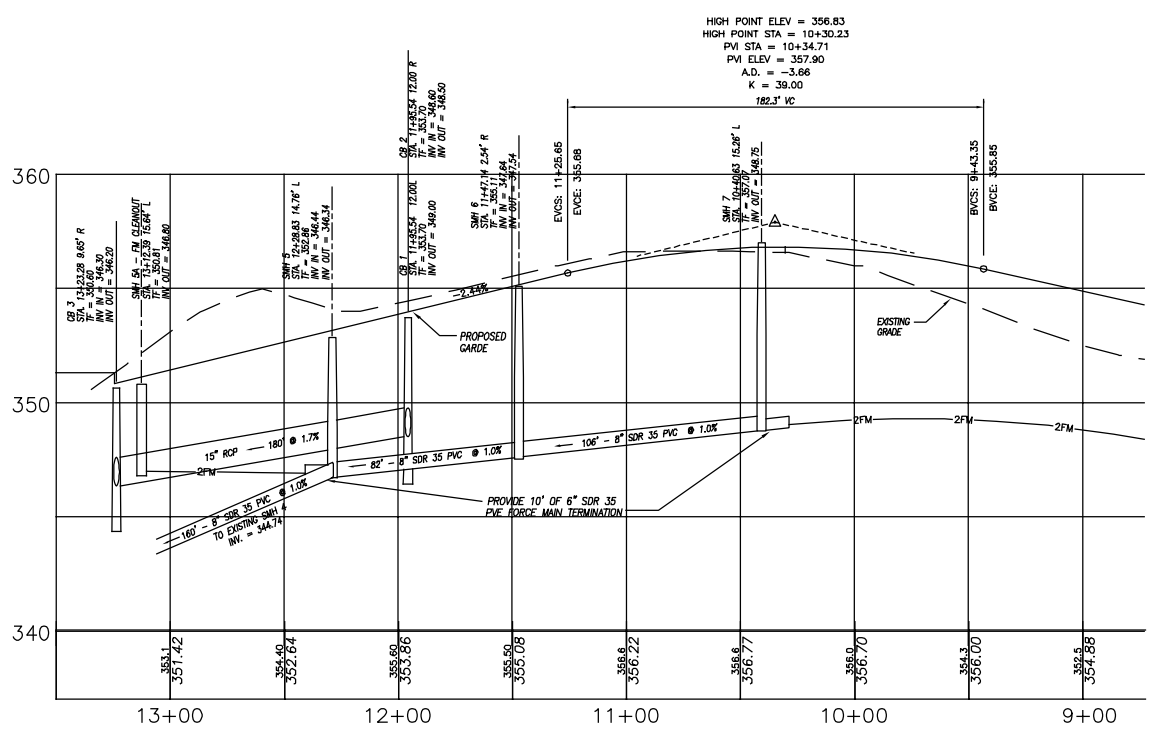
HORIZONTAL SCALE IN FEET

40 20 0 40

4 2 0 4

VERTICAL SCALE IN FEET





SANITARY SEWER SCHEDULE

STRUCTURE ID	STRUCTURE TYPE	FRAME ELEV.	PIPE INVERT ELEVATION N	S	E	W	OUTLET DIA. (IN.)	MATERIAL	LENGTH (FT.)	SLOPE (%)
SMH-8	CLEAN-OUT	294.88		OUT = 290.20			2			
SMH-7	MANHOLE	357.07				OUT = 348.75 (MH-6)	8	PVC	106	1.0%
SMH-6	MANHOLE	355.11		OUT = 347.54	IN = 347.64		8	PVC	82	1.0%
SMH-5	MANHOLE	352.86		OUT = 346.34	IN = 346.44	IN = 346.44	8	PVC	160	1.0%
SMH-5A	CLEAN-OUT	350.81			OYT = 346.80		2			

STORM DRAINAGE SCHEDULE

STRUCTURE ID	STRUCTURE TYPE	FRAME ELEV.	PIPE INVERT ELEVATION N	S	E	W	OUTLET DIA. (IN.)	MATERIAL
CB-15	C-L			IN:	OUT:			
FES-102	FLARED END		OUT:					
CB-14	II DOUBLE	289.86		IN: 285.50	OUT: 285.40	IN: 285.50	15	RCP
CB-16	II DOUBLE	288.80			OUT: 284.40	IN: 284.50	15	RCP
FES-101	FLARED END				OUT: 281.50			
CB-13	C	296.23	OUT: 291.65	IN: 291.75	IN: 291.75		15	RCP
CB-12	C	296.23				OUT: 292.15	15	RCP
CB-11	C	304.37	OUT: 298.80	IN: 298.90	IN: 298.90		15	RCP
CB-10	C	304.37				OUT: 299.30	15	RCP
CB-9	C	323.60	OUT: 316.28	IN: 316.38	IN: 316.38		15	RCP
CB-8	C	323.60				OUT: 316.78	15	RCP
CB-7	C	345.80	OUT: 340.57	IN: 340.67	IN: 340.67		15	RCP
CB-6	C	345.80				OUT: 341.07	15	RCP
CB-5	C	353.66	OUT: 347.94		IN: 348.04		15	RCP
CB-4	C	253.66				OUT: 348.44	15	RCP
CB-3	II DOUBLE	350.60			IN: 346.30	OUT: 346.20		
CB-2	C	353.70	OUT: 348.50	IN: 348.60	IN: 348.60		15	RCP
CB-1	C	353.70	OUT: 349.00				15	RCP
FES-103	FLARED END					OUT: ???.??		

PIPE ID	PIPE INVERT ELEVATION N	S	E	W	OUTLET DIA. (IN.)	MATERIAL	LENGTH (FT.)	SLOPE (%)
P-1	IN: ???.?? (FES-102)	OUT: ???.?? (CB-14)						
P-2			OUT: ???.?? (CB-14)	IN: ???.?? (CB-15)				
P-3			IN: ???.?? (CB-3)	OUT: ???.?? (FES 103)				

LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- DH DRILL HOLE FOUND
- CONCRETE MONUMENT TO BE SET
- WG WATER GATE
- CB EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- SMH EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- BUILDING SETBACK LINE
- 100 EXISTING CONTOURS
- 100 PROPOSED CONTOURS
- S PROPOSED SANITARY SEWER LINE
- E&T PROPOSED UNDERGROUND UTILITIES
- OHW PROPOSED OVERHEAD WIRES
- STONE WALL
- STONE WALL REMAINS
- SILT FENCE

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes:

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.

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APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

BEFORE YOU DIG
CALL BEFORE YOU DIG
AT LEASE TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

NORMAND E. THIBEAULT, JR., P.E. DATE

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
REVISIONS	

PROPOSED PLAN & PROFILE No. 2
STATION 9+00 TO 14+00

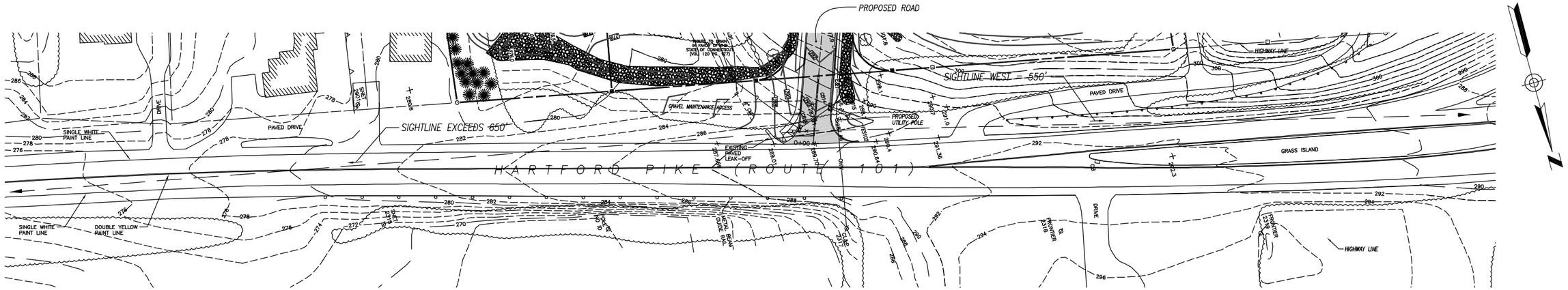
PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

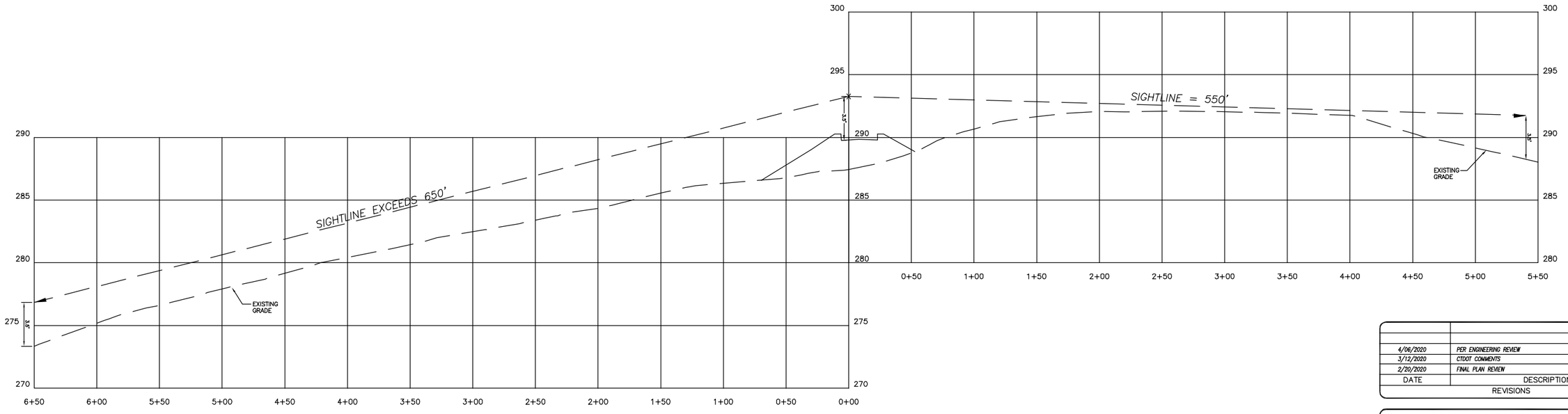
Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 40'	DESIGN: NET
SHEET: 8 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130



SIGHTLINE PLAN VIEW

40 20 0 40
GRAPHIC SCALE IN FEET



SIGHTLINE PROFILE

HORIZONTAL SCALE IN FEET
40 20 0 40
4 2 0 4
VERTICAL SCALE IN FEET

4/06/2020	PER ENGINEERING REVIEW
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DATE	DESCRIPTION
REVISIONS	

SIGHTLINE DEMONSTRATION PLAN

PREPARED FOR

PATRIOT HOMES, LLC

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KILLINGLY, CONNECTICUT

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Subdivision Plan No:

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NORMAND E. THIBEAULT, JR., P.E. DATE

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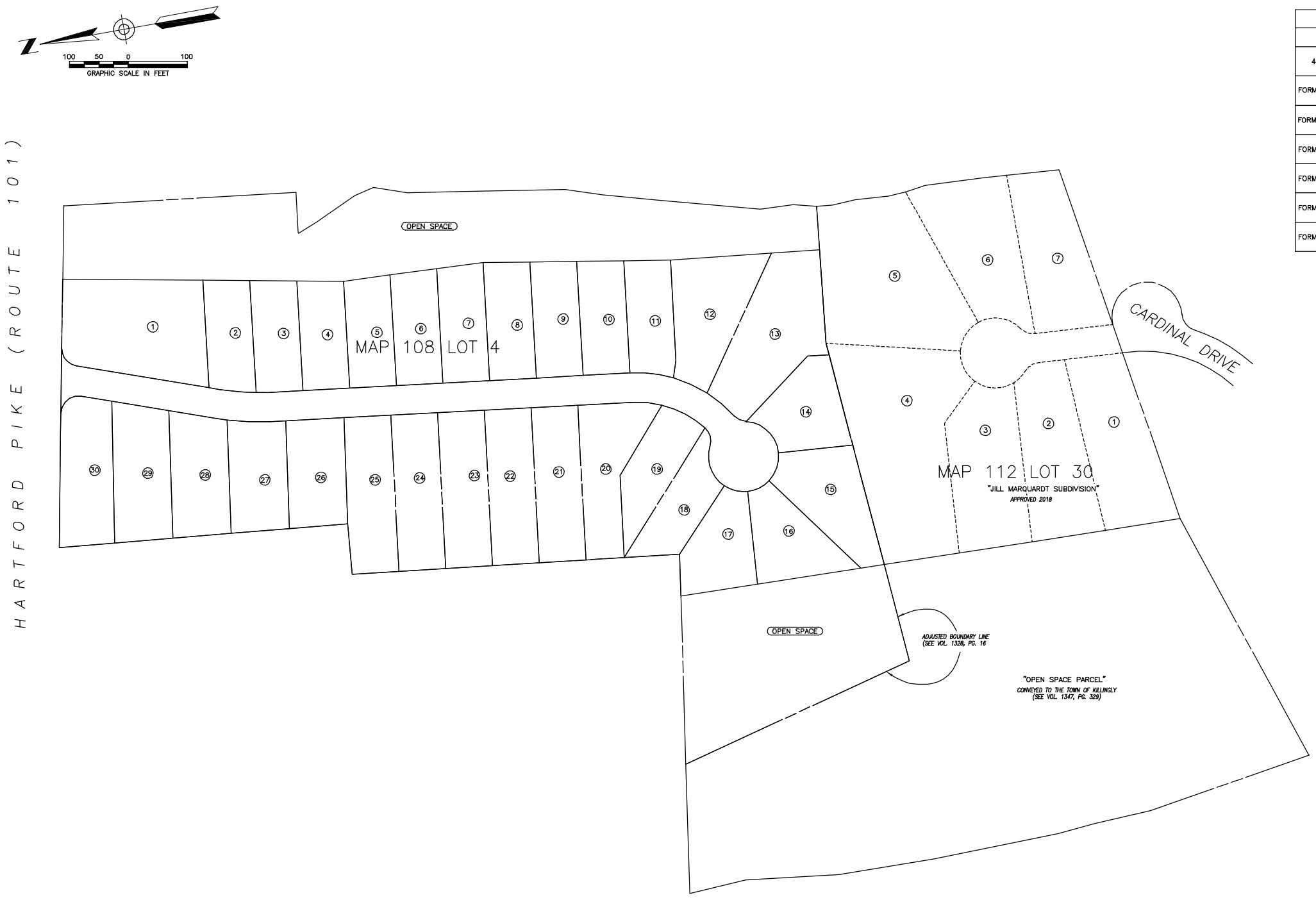

HISTORICAL DATA						
LOT #	GRANTOR	GRANTEE	VOL.	PG	DATE	NOTES
4 & 30	PATRIOT HOMES, LLC	JILL MARQUARDT, TRUSTEE	1328	16	11/29/2017	BOUNDARY ADJUSTMENT & PARCEL CONSOLIDATION
FORMER LOT 30	JAMES E. GAUDREAU CLAIR M. GAUDREAU	JILL MARQUARDT, TRUSTEE	949	379	7/14/2004	4 1/4 ACRES
FORMER LOT 30	JANE G. RACICOT	JAMES E. GAUDREAU CLAIR M. GAUDREAU	668	91	11/15/1996	4 1/4 ACRES
FORMER LOT 30	LEONARD G. BISSONNETTE	JANE G. RACICOT	581	130	8/25/1993	4 1/4 ACRES
FORMER LOT 30	ESTATE OF ALDEA BISSONNETTE	LEONARD G. BISSONNETTE, ET.AL.	282	183	10/27/1981	4 1/4 ACRES
FORMER LOT 30	ESTATE OF ALBERT BISSONNETTE	ALDEA BISSONNETTE	250	59	3/09/1979	2ND TRACT 4 1/4 ACRES
FORMER LOT 30	ESTATE OF JOHN CONWAY	ALBERT BISSONNETTE	89	577	8/27/1937	1ST TRACT 4 1/4 ACRES

NOTES:

This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20–300b–1 through 20–300b–20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;

– This survey conforms to a Class "D" horizontal accuracy.

– Survey Type: Compilation Plan.

"This plan was compiled from other maps, record research or other sources of information. It is not to be construed as having been obtained as the result of a field survey, and is subject to such change as an accurate field survey may disclose."

DATE	DESCRIPTION
4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
REVISIONS	

DATA ACCUMULATION MAP
PARCEL HISTORY
PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD TURNPIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

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DATE: 1/15/2020	DRAWN: AMR
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APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

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EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).

2. U.S.D.A. N.R.C.S. Web Soil Survey.

SOILS:

The site is comprised mainly of four soil types; Sudbury (23A), Canton & Charlton (61B), Canton & Charlton (62C) and Canton & Charlton (62D)

23A Sudbury sandy loam, 0 to 5 percent slopes

Included with this soil in mapping are areas of somewhat excessively drained Merrimac soils and well drained Agawam soils that are higher on the landscape. Also included are moderately well drained Ninigret and Tisbury soils in areas with a finer surface texture. Small areas of poorly drained Walpole soils are included in drainageways and shallow depressions. Minor components make up about 20 percent of this map unit.

61B Canton and Charlton soils, 3 to 8 percent slopes, very stony

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. A few areas in Litchfield County include soils with a silt loam surface and subsoil. Minor inclusions make up about 20 percent of the map unit.
Slope: gently sloping
Landscape: hills on uplands
Surface cover: 0 to 3 percent stones
Size of map unit: Areas commonly range from 3 to 100 acres

62C Canton and Charlton soils, 3 to 15 percent slopes, extremely stony

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. Minor components make up about 20 percent of the map unit.
Slope: gently sloping to strongly sloping
Landscape: hills on uplands
Surface cover: 3 to 15 percent stones
Size of map unit: Areas commonly range from 3 to 100 acres.

62D Canton and Charlton soils, 15 to 25 percent slopes, extremely stony

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. A few areas in Litchfield County include soils with a silt loam surface and subsoil. Minor components make up about 20 percent of the map unit.
Slope: moderately steep or steep
Landscape: hills on uplands
Surface cover: 3 to 15 percent stones
Size of map unit: Areas commonly range from 3 to 100 acres.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.

2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)

3. Install construction entrance.

4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.

5. Begin construction of the house, septic system and well.

6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.

7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.

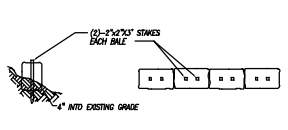
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Killingly will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.

3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.

4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.

5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.

6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.



HAYBALE BARRIER
NOT TO SCALE

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.

2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.

3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.

4. Inspect and repair barrier after heavy rainfall.

5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.

6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.

7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
– the fence has been overtopped, undercut or bypassed by runoff water,
– the fence has been moved out of position (knocked over), or
– the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.

2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.

3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.

4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.

5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
– the barrier has been overtopped, undercut or bypassed by runoff water,
– the barrier has been moved out of position, or
– the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS–2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3–4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10–10–10 or equivalent. Additionally, lime may be applied using rates given in Figure TS–1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%–100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent reoccurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".

2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.

3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10–10–10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".

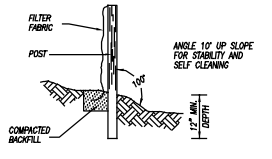
4. Inspect seedbed before seeding. If traffic has compacted the soil, retill compacted areas.

5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 – October 1.

6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

RESPONSIBLE PARTY FOR E&S MAINTENANCE:

Jill Marquardt, Trustee
189 Watch Hill Drive
Westerly, RI 01891
(860) 774–7500



SILT FENCE
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

– Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.

– Route traffic patterns within the site to avoid existing or newly planted vegetation.

– Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.

– Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.

– Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

– Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.

– Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off–site generated runoff with sediment laden runoff generated on–site until after adequate filtration of on–site waters has occurred.

– Segregate construction waters from clean water.

– Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub–drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off–site damage that it can cause is reduced. It is generally more expensive to correct off–site damage than it is to install proper internal controls.

– Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.

– Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.

– Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

– Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off–site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

– Grade and landscape around buildings and septic systems to divert water away from them.

CONSTRUCTION NOTES/GENERAL PROVISIONS

The locations of existing utilities are based upon visible field observations, record mapping and interviews with the property owner and abutting property owners. They are is shown for informational purposes only. Contractor shall coordinate exploratory test hole excavation with the Engineer if necessary to verify and/or determine actual locations of some utilities & structures. It
is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1–800–922–4455, and obtain all applicable permits, prior to any excavation around utilities.

All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.

All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 816", and supplements thereto.

4. The Contractor shall obtain copies of all regulatory agency permits from the Owner prior to any site disturbance.

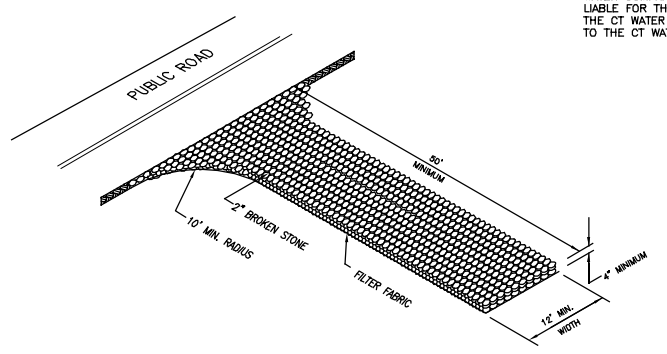
5. Unless otherwise noted on the plans, the contractor shall use the geometry provided on the construction plans. Benchmark information shall be provided to the contractor by the Owner or the Owner's surveyor. Any discrepancies between field measurements and construction plan information shall be brought to the attention of the Engineer or Surveyor immediately.

6. The Contractor shall not revise elevations or locations of items shown on the plans without written consent of the project Engineer or Surveyor.

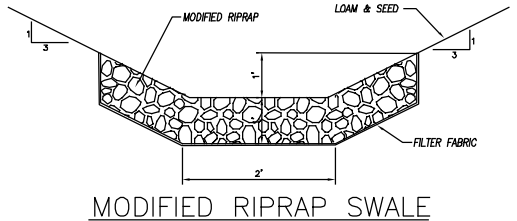
7. The Contractor shall protect benchmarks, property corners, and other survey monuments from damage or displacement. If a marker needs to be removed, it shall be referenced by a licensed land surveyor and replaced as necessary by the same.

8. The Contractor shall be responsible for preparing and compacting base for proposed pavement. – Owner shall provide general fill to establish subgrade – contractor shall spread and compact. Contractor shall provide, spread and compact required processed aggregate

9. The entire project site shall be thoroughly cleaned at the completion of the work. Clean all installed paved areas, accumulated silt and sediment, plus all adjacent areas affected by the construction activities as directed by the Owner or the jurisdictional Agency.



ANTI–TRACKING PAD
NOT TO SCALE



MODIFIED RIPRAP SWALE
NOT TO SCALE

WATER MAIN INSTALLATION NOTES:

1. PROJECT MUST BE BUILT TO CONNECTICUT WATER COMPANY SPECIFICATIONS.

2. CLASS 52 DUCTILE IRON PIPE REQUIRED.

3. COPPER AND/OR DUCTILE IRON SERVICE LATERAL MATERIAL REQUIRED.

4. GATE VALVES OPEN LEFT.

5. FIRE HYDRANTS OPEN LEFT (WHERE APPLICABLE). HYDRANTS ARE 5.5' BURY DEPTH. CT WATER COMPANY WILL FURNISH MATERIALS INCLUDING TEE, VALVE, PIPE, HYDRANT AND ACCESSORIES. FIRE HYDRANTS TO BE INSTALLED WITH FACE OF HYDRANT 3–FEET OFF FACE OF CURB. HYDRANTS ARE NOT TO BE INSTALLED IN SIDEWALKS. WHERE 3–FEET CANNOT BE OBTAINED, INSTALL HYDRANT BEHIND SIDEWALK UNLESS OTHERWISE NOTED OR AS DIRECTED BY A CT WATER COMPANY PROJECT MANAGER. 10–FEET HORIZONTAL SEPARATION REQUIRED BETWEEN HYDRANTS, SEWER MANHOLES AND STORM DRAINS. ***FIRE HYDRANTS TO BE INSTALLED WITH FINISH GRADE AT THE BURY LINE CAST INTO THE LOWER BARREL. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENTS OF WATER MAIN AND LATERAL ELEVATION TO ACHIEVE PROPER BURY DEPTH. ANY COSTS RELATED TO ADJUSTMENTS REQUIRED BY CT WATER COMPANY WILL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR AND/OR APPLICANT OF RECORD.

6. ALL WATER MAIN PIPING AND APPURTENANCES MUST BE POLYETHYLENE ENCASED IN ACCORDANCE WITH AWWA ANSI–AWWA C105/A21.5–99(10).

7. MEGALIG RESTRAINTS REQUIRED ON ALL FITTINGS, BENDS, OFFSETS, TEES, GATE VALVES AND HYDRANTS.

8. FIELD LOK (U.S. PIPE) OR SURE STOP 350 (MCWANE) RESTRAINING GASKETS ARE REQUIRED 2 PIPE JOINTS BEFORE AND AFTER EACH FITTING AND ON THE LAST 3 PIPE LENGTHS ON DEAD ENDS.

9. THRUST BLOCKING IS REQUIRED ON ALL BENDS, TEES, OFFSETS, HYDRANTS AND DEAD ENDS.

10. ALL WATER MAINS SHALL BE INSTALLED TO A DEPTH OF 4–FEET OF COVER BASED ON THE ROADWAY GRADE, EXCEPT AS NOTED.

11. 3–FT MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN WATER AND ANY OTHER UTILITY/UNDERGROUND STRUCTURE. 10–FT MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN WATER AND SEWER/SEPTIC ("SEWER")*** SLEEVE REQUIRED WHERE WATER CROSSES SEWER IF WATER IS BELOW SEPTIC AND/OR WHEN 18" VERTICAL SEPARATION CANNOT BE ACHIEVED WHEN WATER IS ABOVE SEWER. 4–FEET MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN WATER MAIN AND DRAINAGE WHEN AT LIKE ELEVATIONS.

12. WATER MAINS TO BE DEFLECTED UNDER ALL STORM DRAINS UNLESS OTHERWISE NOTED OR AS DIRECTED BY A CT WATER COMPANY PROJECT MANAGER. A VERTICAL CLEARANCE OF 18" TO BE MAINTAINED BETWEEN STORM DRAIN AND WATER MAINS. THE CONTRACTOR IS RESPONSIBLE FOR PROPER COMPACTION AROUND AND UNDER EXISTING DRAINAGE FACILITIES WHICH MAY INCLUDE REMOVAL AND RESETTING TO PROPER GRADE.

13. ANGLE OF BENDS TO BE FIELD DETERMINED.

14. MAXIMUM ALLOWABLE DEFLECTION PER FULL LENGTH PUSH–ON JOINT FOR 4" TO 12" IS FIVE (5) DEGREES AND THREE (3) DEGREES FOR 14" AND GREATER DUCTILE IRON PIPE.

15. EXISTING SERVICES TO SITE THAT WILL NO LONGER BE USED MUST BE TERMINATED AT THE WATER MAIN BY EXPOSING AND SHUTTING OFF THE CORPORATION VALVE. THE LINE MUST BE SEVERED IMMEDIATELY AFTER THE CORPORATION VALVE. SAID SERVICES MUST BE SHOWN ON PLANS.

16. WHERE AN AIR RELIEF IS REQUIRED, CT WATER COMPANY WILL PERFORM TAP AND INSTALL WHILE THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION AND RESTORATION UNLESS OTHERWISE NOTED. LABOR AND MATERIALS FOR THE INSTALLATION(S) WILL BE CHARGED TO THE PROJECT.

17. ***WHEN THE INSTALLATION OF UNDERGROUND INFRASTRUCTURE DEVIATES FROM THE CT WATER COMPANY APPROVED PLANS(S), THE APPLICANT, AT HIS/HER COST, WILL BE HELD LIABLE FOR THE RELOCATION OF INFRASTRUCTURE AS REQUIRED TO THE SATISFACTION OF THE CT WATER COMPANY. FAILURE TO CORRECT ANY DEVIATION DEEMED UNACCEPTABLE TO THE CT WATER COMPANY WILL RESULT IN LITIGATION.

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
REVISIONS	

DETAIL SHEET NO. 1

PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
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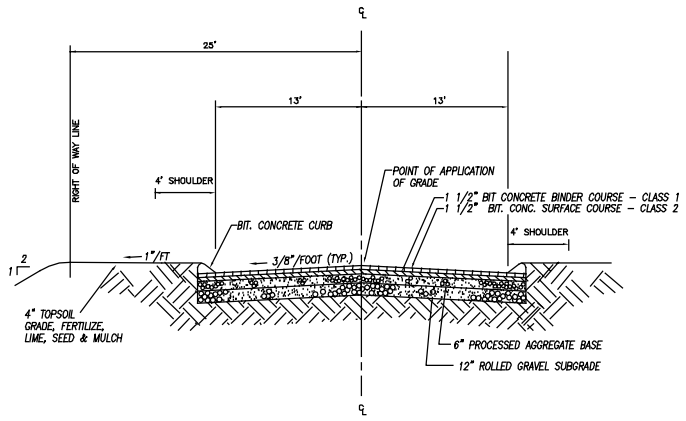
DATE: 1/15/2020	DRAWN: AMR
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 11 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:	ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.	APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION
APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION	THE APPLICANT WILL CONTACT THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION'S AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.	
CHAIRMAN DATE		CHAIRMAN DATE
Expiration date per Sec. 8.26c, Conn. Gen. Statutes:		

NORMAND E. THIBEAULT, JR., P.E. DATE

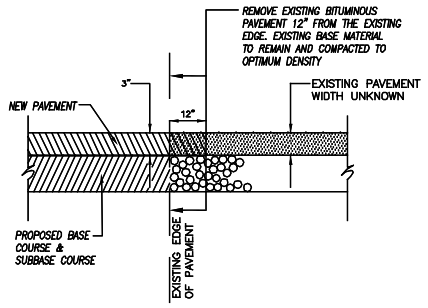
K:\16130\Drawings\Subdivision 2020\11-13_16130 DET.DWG JUL 01, 2020 – 9:18 AM



1. ALL MATERIAL THICKNESSES ARE FOR COMPACTED DEPTH
2. IF BINDER COURSE IS LEFT AS A TOP COURSE FOR AN EXTENDED PERIOD, A TACK COAT OF BITUMINOUS MATERIAL SHALL BE APPLIED BEFORE LAYING THE BITUMINOUS CONCRETE SURFACE COURSE.

ROADWAY CROSS SECTION

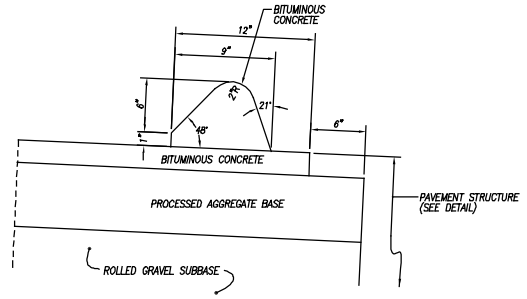
NOT TO SCALE



1. SAW CUT PAVEMENT WITH POWER DRIVEN SAW 12" FROM THE EXISTING EDGE. SAW CUT TO BE PERPENDICULAR TO THE EXISTING SURFACE.
2. REMOVE ENTIRE WIDTH OF PAVEMENT.
3. CLEAN JOINT WITH COMPRESSED AIR HAVING A MINIMUM RATED CAPACITY OF 90 PSI.
4. APPLY TACK COAT TO THE SAW CUT EDGE AND MATCH THIS EDGE WITH THE PROPOSED EDGE.

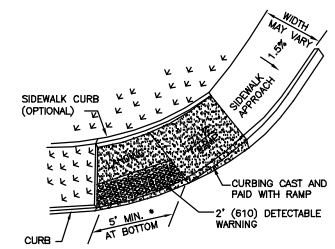
TYPICAL CROSS SECTION FOR MATCHING EXISTING AND PROPOSED PAVEMENT

NOT TO SCALE



BITUMINOUS CONCRETE LIP CURBING DETAIL

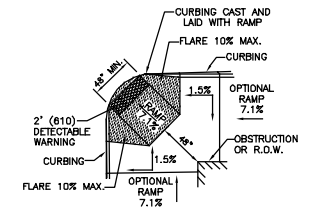
NOT TO SCALE



* FOR PARALLEL CURB RAMPS, A MIN. 4'(1.2m) x 4'(1.2m) LEVEL LANDING SHALL BE PROVIDED AT THE BOTTOM OF CURB RAMP. IF THE LEVEL LANDING IS RESTRICTED ON 2 OR MORE SIDES, THE LEVEL LANDING SHALL BE 4'(1.2m) x 5'(1.5m) WITH THE 5' (1.5m) DIMENSION PROVIDED IN THE DIRECTION OF THE PEDESTRIAN STREET CROSSING.

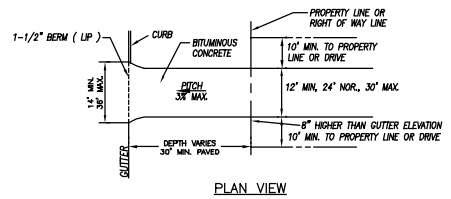
SIDEWALK RAMP TYPE 4C

NOT TO SCALE

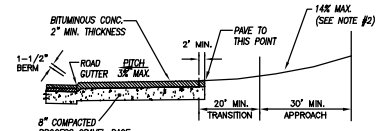


DIAGONAL SIDEWALK RAMP WITH LANDING AT TOP (TYPE 4)

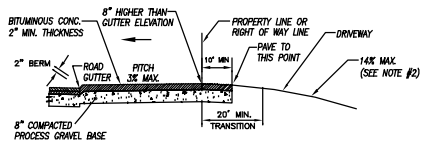
NOT TO SCALE



PLAN VIEW



LAND ABOVE ROAD (SECTION)

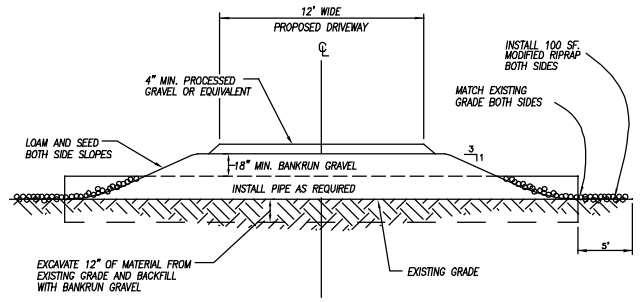


LAND BELOW ROAD (SECTION)

1. THE ABOVE DETAIL IS ILLUSTRATIVE ONLY AND DOES NOT APPLY TO EVERY SITUATION. REVIEW YOUR DRIVEWAY PERMIT FOR YOUR SPECIFIC REQUIREMENTS.
2. DRIVEWAYS IN EXCESS OF 10% GRADE, AND ALL COMMON (SHARED) DRIVEWAYS SHALL BE PAVED WITH BITUMINOUS CONCRETE.

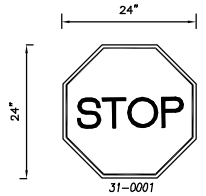
STANDARD DRIVE DETAIL

NOT TO SCALE



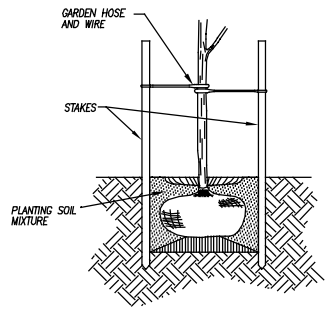
DRIVEWAY CULVERT DETAIL

NOT TO SCALE



STOP SIGN

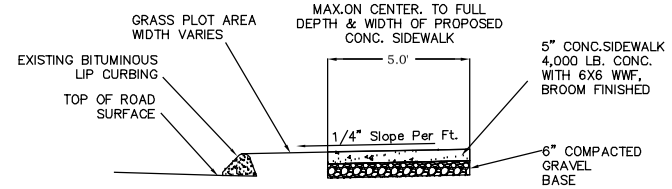
NOT TO SCALE



REFERENCE: GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL

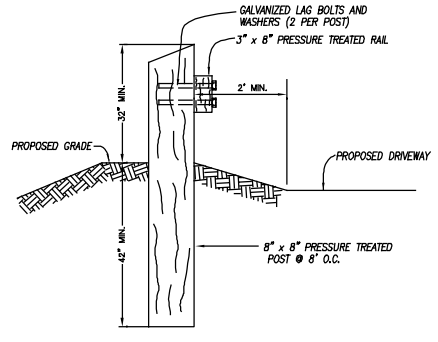
PLANTING CROSS SECTION FOR TREES UNDER 20'

NOT TO SCALE



SIDE WALK TYPICAL CROSS SECTION

NOT TO SCALE



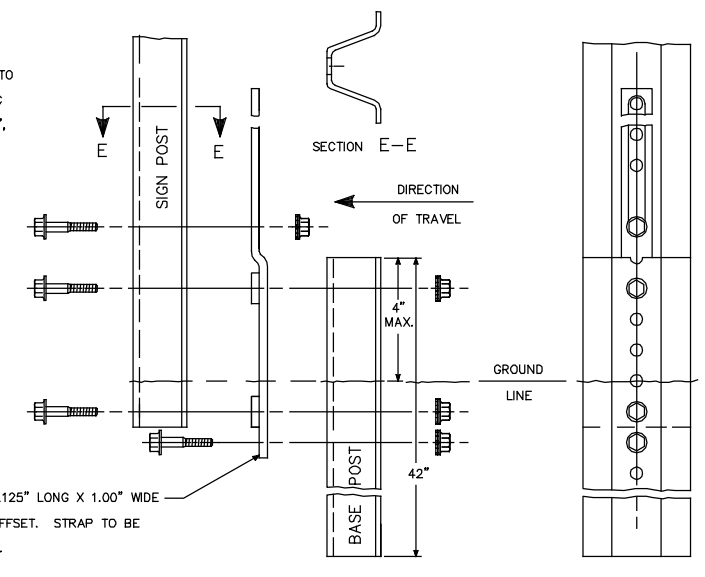
WOOD GUIDE RAIL

NOT TO SCALE

BOLTS – HEX HEAD,INTEGRAL FLANGE CONFORMING TO ASTM A354. –18 UNC X 1.75", GRADE BC FOR 3.00 LBS./FT. POSTS –18 UNC X 2.0", GRADE BD FOR 4.00 LB./FT. POSTS.

NUTS –18 UNC HEX HEAD, INTEGRAL FLANGE CONFORMING TO ASTM A563, GRADE DH.

LOCKWASHERS – HEAVY DUTY EXTERNAL TYPE.



BREAKAWAY TYPE I INSTALLATION – FOR 3 & 4 LB. POSTS

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
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DETAIL SHEET No. 2

PREPARED FOR

PATRIOT HOMES, LLC

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DATE: 1/15/2020	DRAWN: AMR
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SHEET: 12 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

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CHAIRMAN DATE

NORMAND E. THIBEAULT, JR., P.E. DATE

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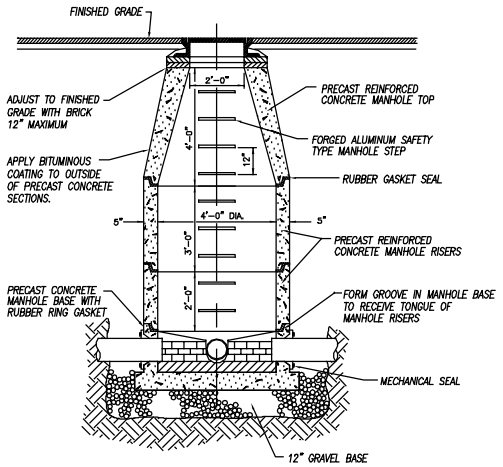
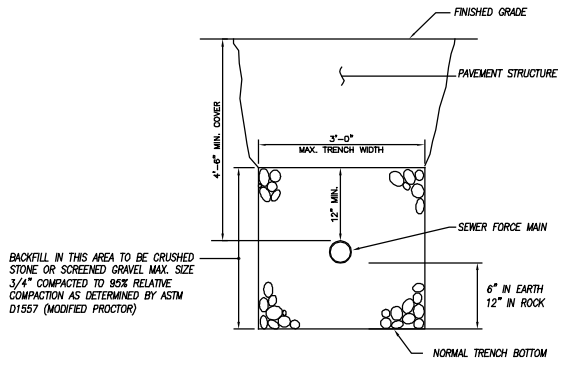


TYPICAL SANITARY MANHOLE CROSS SECTION

NOT TO SCALE



PRESSURE SEWER TRENCH DETAIL

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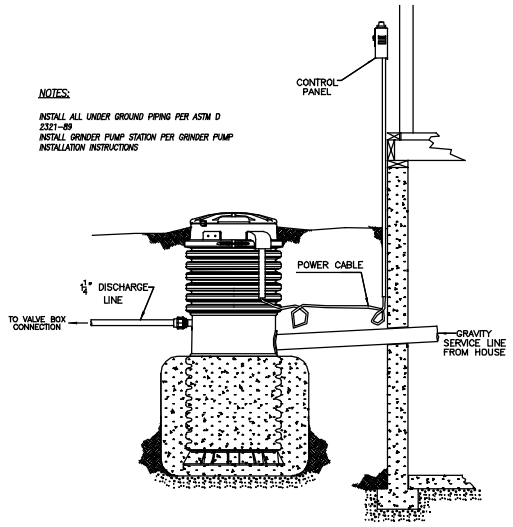
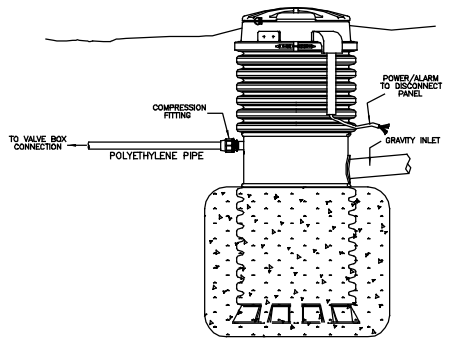
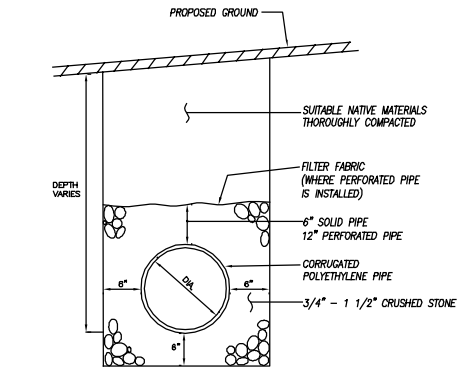




RESIDENTIAL LOW PRESSURE GRINDER PUMP SYSTEM

NOT TO SCALE



DRAINAGE PIPE INSTALLATION DETAIL

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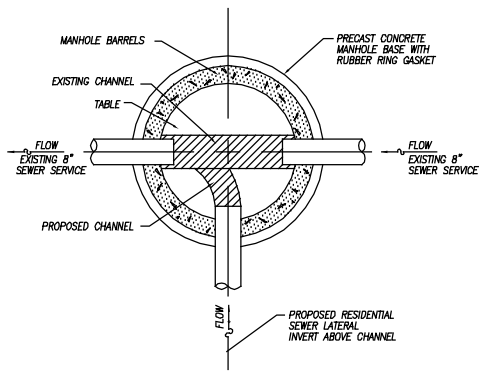
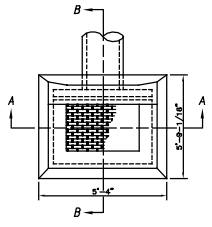
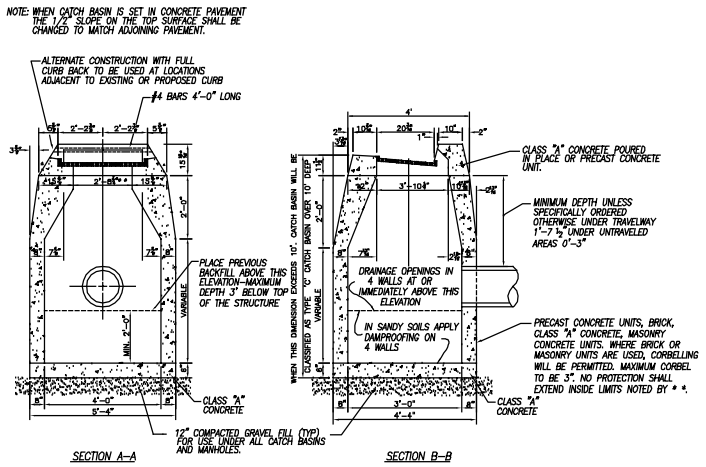


SEWER CONNECTION AT MANHOLE

NOT TO SCALE



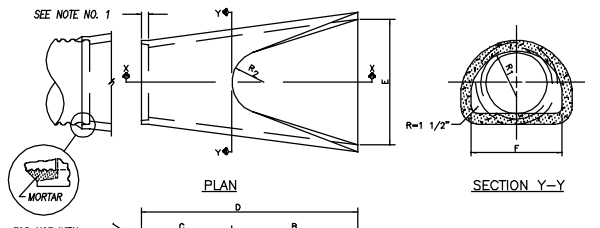


TYPE 'C' CATCH BASIN DOUBLE GRATE TYPE I DETAIL

NOT TO SCALE

LOW PRESSURE SEWER SERVICE CONNECTION

NOT TO SCALE

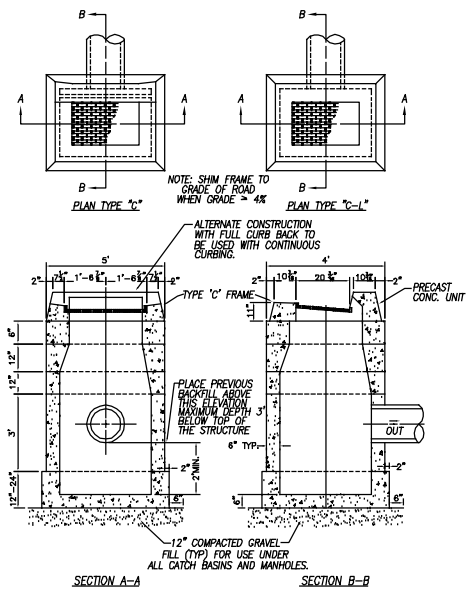


NOTE:
1. JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLED
2. WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS

DIMENSIONS FOR REINFORCED CONCRETE CULVERT END									FLARED REINFORCEMENT ONE LAYER ONLY IN CENTER OF WALL	
DIA.	A	B	C	D	E	F	R_1	R_2	MINIMUM AREA OF REINFORCING SQ. IN. PER FT.	MINIMUM AREA OF REINFORCING SQ. IN. PER FT.
12"	4"	2'-0"	4'-0 3/8"	6'-0 3/8"	2'-0"	1'-7 15/16"	10 1/4"	9"	0.048	0.048
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	1'-9 3/16"	1'-0 1/2"	11"	0.054	0.054
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-5"	1'-3 1/2"	1'-0"	0.060	0.060
21"	9"	2'-11"	3'-2"	6'-1"	3'-6"	2'-7 1/2"	1'-6"	1'-1"	0.066	0.066
24"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	2'-9 3/16"	1'-9 13/16"	1'-2"	0.072	0.072
30"	1'-0"	4'-4"	1'-7 3/4"	6'-1 3/4"	5'-0"	3'-1"	1'-6 1/2"	1'-3"	0.084	0.084
36"	1'-3"	5'-3"	1'-10 3/4"	6'-1 3/4"	6'-0"	3'-11 13/16"	1'-9 3/16"	1'-8"	0.096	0.096
42"	1'-9"	5'-3"	2'-11"	8'-2"	6'-8"	4'-5 7/8"	2'-3 1/2"	1'-10"	0.108	0.108
48"	2'-0"	6'-10"	2'-2"	8'-2"	7'-0"	4'-8 1/2"	2'-6 1/2"	1'-10"	0.120	0.120
54"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	5'-0 1/2"	2'-9 1/8"	2'-0"	0.132	0.132
60"	2'-6"	5'-0"	3'-3"	8'-3"	8'-0"	5'-0 1/2"	3'-0 11/16"	2'-0"	0.144	0.144

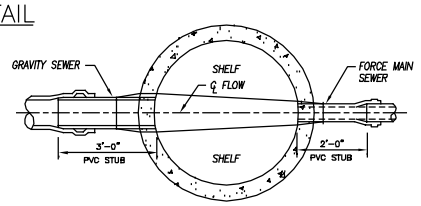
FLARED END SECTION

NOT TO SCALE

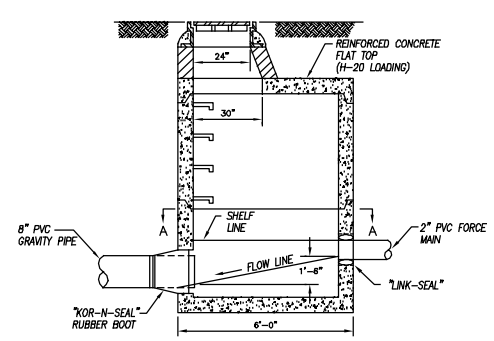


TYPICAL CATCH BASIN DETAIL

NOT TO SCALE



SECTION A-A



TRANSITION MANHOLE

NOT TO SCALE

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
	REVISIONS

DETAIL SHEET No. 3

PREPARED FOR

PATRIOT HOMES, LLC

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DATE: 1/15/2020	DRAWN: AMR
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 13 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

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CHAIRMAN DATE

NORMAND E. THIBEAULT, JR., P.E. DATE

K:\16130\Drawings\Subdivision 2020\11-13_16130 DET.DWG Jul 01, 2020 - 9:20 AM

TABLE OF ZONING REQUIREMENTS	
ZONE = LOW DENSITY	
	REQUIRED
Lot Area	30,000 S.F.
Lot Frontage	100'
Front Yard Setback	40'
Side Yard Setback	20'
Rear Yard Setback	20'
Building Height	35' Max.
Lot Coverage	20% Max.

60 30 0 60
GRAPHIC SCALE IN FEET

n/f
Town of Killingly
"Open Space"
(SEE VOL. 1347, PG. 329)

n/f
Keith B. Cooper
Map 108, Lot 10

n/f
Keith B. Cooper
Map 108, Lot 9

n/f
James S. Hansen
&
Erin M. Hansen
Map 108 Lot 8

n/f
Bruce W. Cooper
Map 108 Lot 6

n/f
Joshua K. Stilwell
Map 108 Lot 5

n/f
Gerald Dionne
&
Denise Dionne
Map 112 Lot 30.04

40' WIDE "OPEN SPACE" ACCESS EASEMENT IN FAVOR OF THE TOWN OF KILLINGLY (SEE VOL. 1547, PG. 335)

APPROXIMATE CENTERLINE OF EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT & POWER COMPANY (SEE VOL. 87, PG. 220)

20' WIDE EMERGENCY ACCESS & "OPEN SPACE" ACCESS EASEMENT IN FAVOR OF THE TOWN OF KILLINGLY (SEE VOL. 1347, PG. 329) & 20' WIDE UTILITY EASEMENT IN FAVOR OF PATRIOT HOMES, LLC (SEE VOL. 1345, PG. 169)

n/f
Roland Toutant
Map 112, Lot 30.05

n/f
Kaveh Teleghani
&
Rosario Teleghani
Map 113, Lot 21

n/f
Charles C. Cozzens
Map 107, Lot 26

n/f
Pine Hill Farm, LLC
Map 108 Lot 34

n/f
Town of Killingly
Map 107 Lot 46

n/f
Raymond A. Preece
Map 108 Lot 3

ROADWAY PARCEL
AREA 1.603 ACRES

PATRIOT WAY

HARTFORD PIKE (ROUTE 101)

1	(161,577 S.F.)
2	(32,367 S.F.)
3	(31,615 S.F.)
4	(33,727 S.F.)
5	(32,527 S.F.)
6	(32,179 S.F.)
7	(31,392 S.F.)
8	(43,747 S.F.)
9	(59,694 S.F.)
10	(32,823 S.F.)
11	(62,849 S.F.)
12	(74,720 S.F.)
13	(31,095 S.F.)
14	(30,058 S.F.)
15	(32,884 S.F.)
16	(33,017 S.F.)
17	(33,453 S.F.)
18	(30,002 S.F.)
19	(31,355 S.F.)
20	(41,117 S.F.)

PROP. WELL
HEADWALL
PAVED LEAK-OFF
WETLANDS
CHAIN LINK FENCE
SNET 2319
CL&P 2318
CL&P 2317
POLE NO ID

4/06/2020	PER ENGINEERING REVIEW
3/12/2020	CTDOT COMMENTS
2/20/2020	FINAL PLAN REVIEW
DATE	DESCRIPTION
REVISIONS	

TRADITIONAL SUBDIVISON YIELD PLAN

PREPARED FOR

PATRIOT HOMES, LLC

HARTFORD PIKE (ROUTE 101)
KILLINGLY, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 1/15/2020	DRAWN: AMR
SCALE: 1" = 60'	DESIGN: NET
SHEET: 14 OF 14	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 16130

Subdivision Plan No:

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

Expiration date per Sec. 8.26c, Conn. Gen. Statutes: _____

ANY CHANGES TO THESE PLANS WITHIN 200' OF WETLANDS OR WATERCOURSES MUST BE RESUBMITTED TO THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION FOR ITS APPROVAL.

THE APPLICANT WILL CONTACT THE KILLINGLY INLAND WETLANDS AND WATERCOURSES COMMISSION'S AGENT AFTER ALL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED, PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY.

APPROVED BY THE TOWN OF KILLINGLY INLAND WETLANDS COMMISSION

CHAIRMAN DATE

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE

K:\16130\Drawings\Subdivision 2020\14_16130 YIELD.dwg Jul 01, 2020 - 9:22 AM

Telephone: (860) 974-0127
Fax: (860) 974-2963

Hull forest products

Conserving Forests / Crafting Wood / Since 1965

101 Hampton Road
Pomfret Center, CT 06259

June 22, 2020

Jonathan Blake
Killingly Town Hall
172 Main St
Killingly, CT 06239

Dear Mr. Blake,

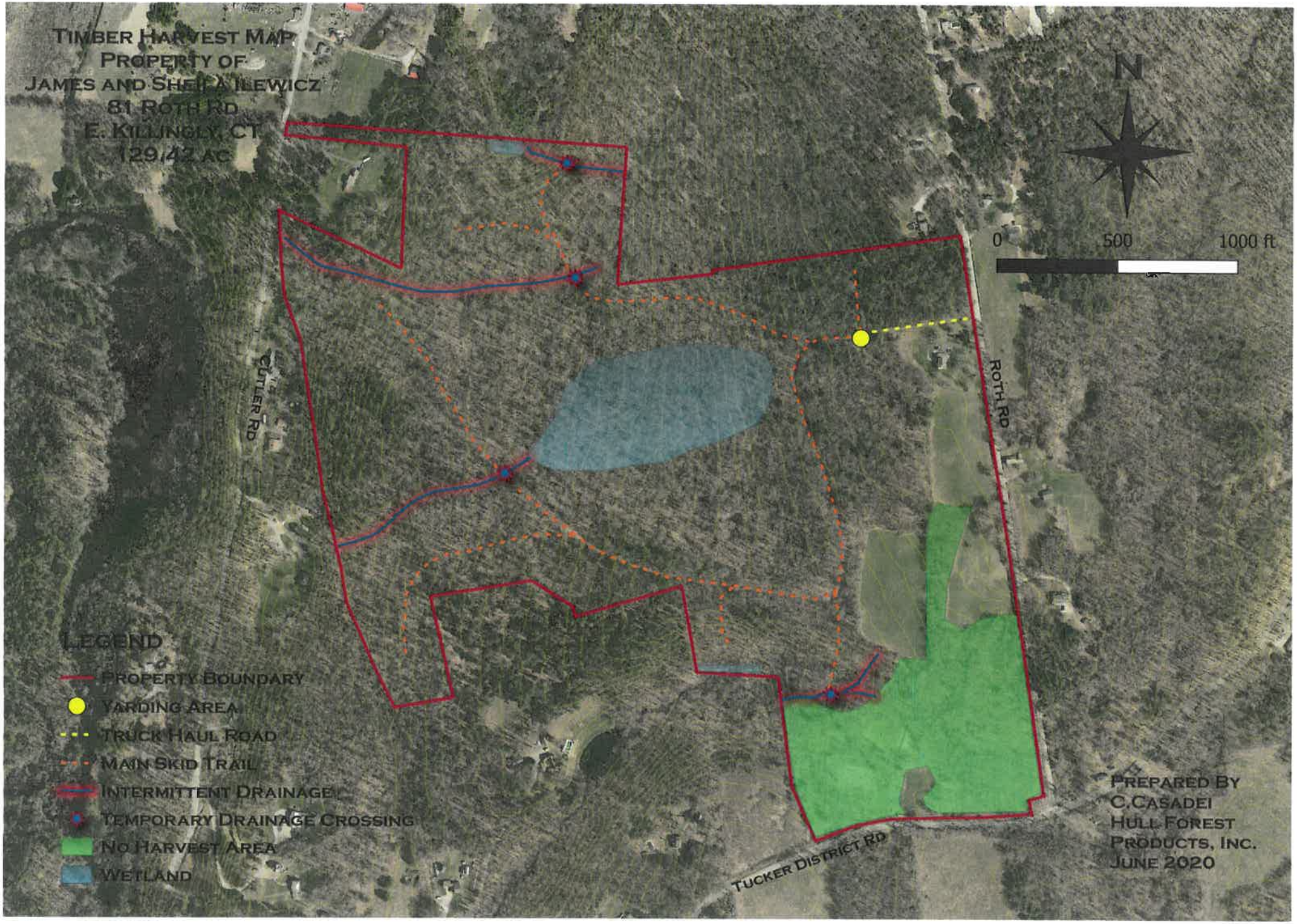
Enclosed please find the Notification of Timber Harvest Form and a Timber Harvest Map regarding a project Hull Forest Products, Inc. plans to conduct on approximately 90 of the 129 acres west of Roth Rd owned by James and Sheila Ilewicz. This operation involves a salvage harvest of the Oak trees that have died as a result of repetitive Gypsy Moth Defoliation and subsequent drought, a presalvage harvest of the Ash trees ahead of their eminent demise from the Emerald Ash Borer and an improvement thinning of the residual stand. The property boundaries have been identified in with pink ribbon and the trees to be harvested have been marked with blue paint marks at eye level. This harvest will be conducted as a conventional operation where the marked trees will be felled and a skidder or forwarder will be used to transport the merchantable logs to the yarding area where they will be hauled off site via an existing access road off Stafford St. A clean stone anti-tracking pad shall be installed where the existing access road meets Roth Rd. The tops of the trees and residual branches will be slashed in place to within three feet of the forest floor. There are four intermittent drainage crossings associated with this operation which have been identified in the field with four blue paint marks. Temporary timber bridges and/or corduroy will be installed as needed to stabilize the crossings during the operation. It is estimated that 6-8 weeks of good working weather will be required to complete this project.

We understand the sensitivity of this site and all Best Management Practices regarding Timber Harvesting as adopted by the CT DEEP will be strictly adhered to. It is our understanding that this type of agricultural activity is permitted as a Use of Right and hope that upon your review you will find the same. Please contact me if there is any other information you may need or if you would like to visit the site together.

Respectfully Submitted,

Chris Casadei
Forester

RECEIVED
JUN 29 2020
PLANNING & ZONING DEPT.
TOWN OF KILLINGLY


Timber Harvest Map
Property of
James and Sheila Lewicz
81 Roth Rd
E. Killingly, CT
129.42 ac
N
0
500
1000 ft
Cutler Rd
Roth Rd
Tucker District Rd
Legend
Property Boundary
Yarding Area
Truck Haul Road
Main Skid Trail
Intermittent Drainage
Temporary Drainage Crossing
No Harvest Area
Wetland
Prepared By
C.Casadei
Hull Forest
Products, Inc.
June 2020

NOTIFICATION OF TIMBER HARVEST

Town: Killingly **Date:** 6/22/20
Property Location: 81 Roth Rd

List all parcels:
Assessor's Info:

Map	Block	Lot
11		1
11		2
5		6.1
22		4

OR:

Unique ID

Total acreage of property(s): 129.42 **Total acreage of harvest area:** 90

Landowner(s) of Record: James and Sheila Ilewicz
Mailing Address: 81 Roth Rd
Town: Killingly, CT **Zip** 06241
Phone (203) 376-3651
E-mail:

Primary Contact: Chris Casadei
Mailing Address: see below
Town: **Zip**
Phone ( )
E-mail:

Note: Timber harvesting is a ***Permitted as of Right Activity*** pursuant to the Inland Wetlands and Watercourses Act, except for those practices regulated under Section 22a-36 through 22a-45 of the Connecticut General Statutes.

Is there a current forest management/stewardship plan for this property? ☐Yes ☒No

This timber harvest has been prepared by a State of Connecticut certified:
(Check one): ☒**Forester** **OR** ☐**Supervising Forest Products Harvester**
Forest Practitioner Certificate #: F-463
Name: Chris Casadei c/o Hull Forest Products, Inc.
Address: 101 Hampton Rd, Pomfret Center, CT 06259
E-mail: casadei@hullforest.com
Phone #: (Business) 860-974-0127 (Cell) 860-235-6550

Property Boundaries:
Bounds are marked: ☒Yes ☐No

Timber Harvest Boundaries:
Have been marked or flagged: ☒Yes ☐No

Have owners of all lands within 100 feet of the harvest area been notified via first-class mail prior to filing this "*Notification of Timber Harvest*"? ☐Yes ☒No
Estimated starting date of timber harvesting operations: 7 / 12 / 20

Description of Timber Harvest:
Objective: Mortality Salvage of Oak, Presalvage of Ash, improve residual stand

Treatment: selection harvest

Amount of forest products to be harvested:
154,070 Board feet 104 Cords _____ Cubic feet _____ Tons

How have the trees to be harvested been designated?
☒They have been marked with paint at eye level and at ground level. **Paint color(s):** Blue
☐They have not been marked

This is not an official CT DEP form but it has been endorsed for town usage by: CT Farm Bureau Assoc., CT Forest & Park Assoc., CT Professional Timber Producers, Society of American Foresters - CT Chapter, and others.

SOIL, WATER AND INLAND WETLANDS RESOURCES

Actions Being Performed On This Land

(Check all that apply and locate on attached Timber Harvest Area map -- see information below on maps.)

Crossings / Clearing	Erosion and Sedimentation Control Measures:
☒ Temporary stream/drainage crossing ☒ Temporary wetlands crossing ☒ Removal of trees in wetlands ☒ Removal of trees in upland review area	☒ Installation of water bars ☒ Grading ☐ Seeding ☐ Other (describe below)
Log landing area:	**Roads**
☒ anti-tracking pad ☐ curb cut	Are new roads, other than skid trails, to be constructed for transport of logs or other activities associated with this harvest? ☐ Yes ☒ No

Describe in further detail as necessary:

There are four intermittent drainage crossings associated with this operation that will be stabilized with corduroy and/or temporary bridge mats during the operation and removed upon completion. All best management practices regarding timber harvesting as adopted by the CT DEEP shall be strictly adhered to.

The following maps are attached to this "Notification" (Check all that apply)

- ☐ Copy of USGS topographic map with property outlined
- ☐ Copy of Assessor's map with property outlined
- ☒ Timber Harvest Area map showing outline of harvest area, main skid road locations, log landing area, truck access roads, inland wetlands, watercourses and any crossings

The undersigned hereby swear that the information contained in this application is true, accurate and complete to the best of my (our) knowledge and belief and that the timber harvest will be conducted in accordance with the specifications outlined in this "Notification of Timber Harvest."

Signature of Landowner(s): see item # 10 on the attached Timber Sale Agreement Date: _____

Print/Type Name: _____

Signature of Landowner(s): _____ Date: _____

Print/Type Name: _____

Signature of Certified Forest Practitioner: _____ Date: 6/22/19

Print Name: Chris Casadei

Certificate #: F-463 Expiration Date: 11 / 1 / 20

Complete and Submit to:
- The Municipal Inland Wetlands Agency/ies in which the property is located, and
- A courtesy copy of this Notification Form should also be sent to The Department of Environmental Protection, Division of Forestry
79 Elm Street, Hartford, CT, Tel: (860) 424-3630

This is not an official CT DEP form but it has been endorsed for town usage by: CT Farm Bureau Assoc., CT Forest & Park Assoc., CT Professional Timber Producers, Society of American Foresters - CT Chapter, and others.

TIMBER SALE AGREEMENT

It is agreed between James J. and Sheila C. Ilewicz of 81 Roth Road, Killingly, CT 06241 hereinafter called the Seller and Hull Forest Products, Inc. of 101 Hampton Road, Pomfret Center, CT 06259 hereinafter called the Purchaser, that the Purchaser shall buy from the Seller and the Seller shall sell to the Purchaser, certain designated standing trees or timber located on approximately 129 acres West of Roth Road in the Town of Killingly, in the State of CT. It is further agreed that the Purchaser may enter upon the land of the Seller for the purpose of cutting and removing such designated trees or timber, and is authorized to prosecute such work, on the area described above subject to the following conditions:

1. The price for the designated trees or timber to be cut shall be or an estimated 154,070 board feet of sawtimber and 104 cords of firewood. Payment terms shall be as follows: $ shall be paid upon acceptance of this agreement,) within one week of the start of the operation, 0 when 1/3 of the operation is complete and when 2/3 of the operation is complete.

2. All trees or standing timber cut under this agreement shall be removed from the land of the Seller within 12 months of the date of the agreement. In the event of wet weather or inappropriate ground conditions the Seller reserves the right to suspend harvesting operations and shall grant an extension of this agreement, if needed, for the same period of time suspended.

3. The Seller hereby covenants and agrees that they are lawfully possessed of the above described goods, chattels, and personal property as their own property.

4. Trees sold to the Purchaser shall be 788 sawtimber trees and 729 firewood trees as designated with a blue paint mark upon the base of the trunk. The prescription involves the salvage of trees killed by repeated gypsy moth defoliation and subsequent drought, an Ash presalvage harvest ahead of the eminent infestation of the Emerald Ash Borer as well as a conservative selection harvest of the residual stand. The Purchaser shall determine the use of the marked material and remove only material determined to be of commercial value as sawtimber or firewood.

5. The Purchaser agrees to indemnify and save harmless the Seller from all claims of personal injury, demands, suits and other legal proceedings arising or incidental to his operations. Hull Forest Products agrees to carry a minimum of $1,000,000.00 General Liability Insurance and $500,000.00 Workmen's Compensation Insurance for the duration of the harvest and to provide the Seller with certificates of insurance confirming said insurance coverage, and to name the Seller as an additional insured on such polices for the period of harvest.

6. Care shall be exercised in the felling, cutting and removal operations so that undesignated standing trees will not be unnecessarily damaged.

7. Excessive rutting (greater than 8" in depth) shall be repaired by the Purchaser.

8. Purchaser shall take precautions to prevent spillage of petroleum products or hazardous materials while refueling or performing maintenance on harvesting equipment. The Purchaser shall indemnify and hold the Seller harmless for any and all damages, including attorney fees and civil penalties, for which the Seller may become liable as a result of any such spillage.

9. All trees designated for removal by the Purchaser shall be cut as low as possible and in such a manner that the stump mark of paint is visible.

10. The Purchaser shall be responsible for following all rules and regulations regarding the harvest of forest products in the State of CT and the Town of Killingly and for obtaining all permits required for such harvest.

11. The Purchaser agrees to slash the tops from the timber harvested to a height not to exceed three feet above ground level on the property of the Seller.

12. In the case of a dispute over the terms of this agreement, a final decision shall rest with a reputable person, to be mutually agreed upon by the parties to this agreement. In the case of further disagreement, an arbitration board of three people will be selected, one by each party to the agreement and the third selected by those two, and the decision of the majority shall be final with respect either to acts to be done or compensation to be paid by either party to the other.

13. Any additional timber to be harvested shall be marked and measured by the Purchaser and agreed upon by both the Purchaser and Seller prior to its removal.

Dated this 19th day of June, 2020

Seller

By _____
James J. Ilewicz

Hull Forest Products, Inc.

By _____
Christopher J. Casadei, Forest Resources Manager
Duly Authorized

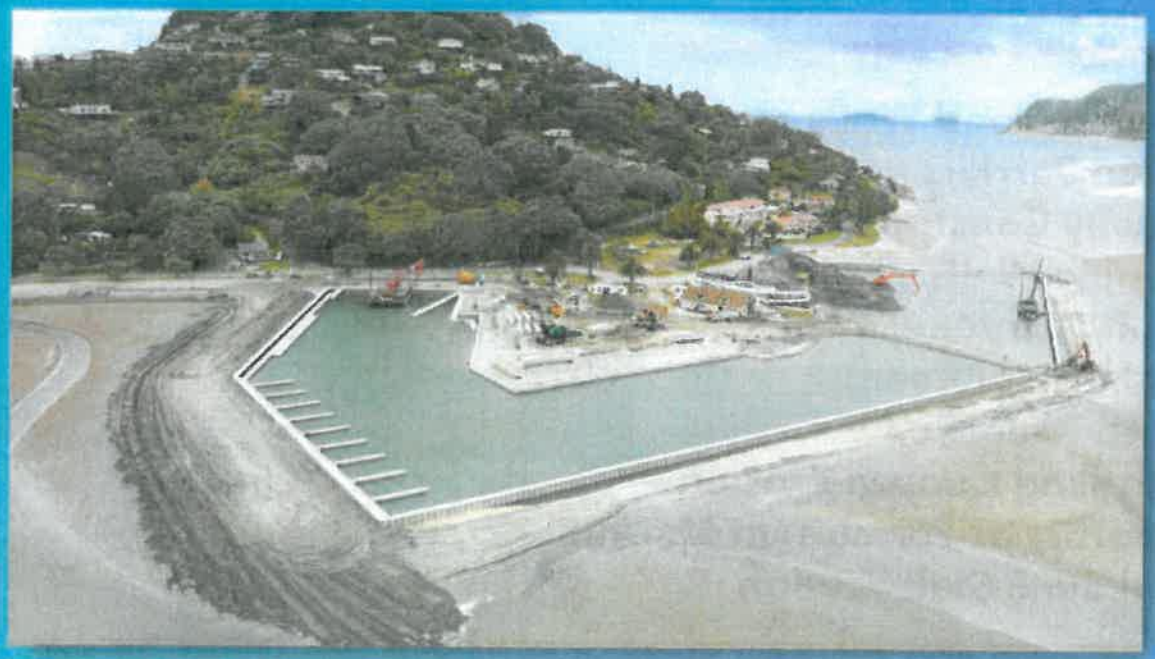
By _____
Sheila C. Ilewicz

Sustainable Erosion Control Solutions
You can trust!

TIDEWALL J™

The best value in vinyl sheet piling

LONG LIFE
COST EFFECTIVE
RESISTANCE TO UV
RAPID INSTALLATION
ENVIRONMENTALLY FRIENDLY



TIDEWALL™

The best value in vinyl sheet piling

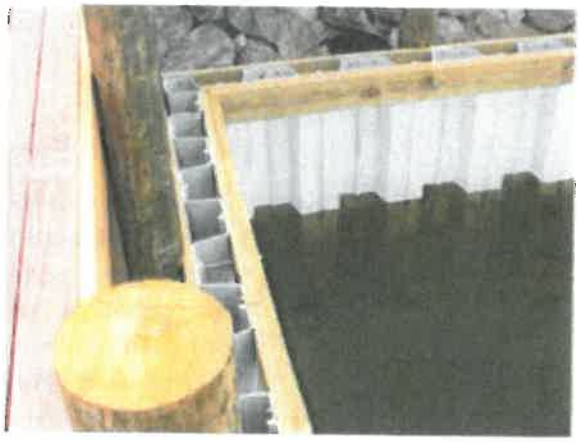
Tidewall vinyl sheet piling offers tremendous value to almost any sheet piling project. Much lower cost than steel or concrete alternatives, it is a strong, lightweight, UV and impact resistant, long-lasting product with major advantages. Tidewall does not rust, corrode, crack, or spall. Tidewall is inert, and friendly to the environment around it. Tidewall retains its structural integrity for decades, and is warrantied for 60 years.

For flood protection, erosion walls, seepage barriers, or retaining walls, Tidewall vinyl sheet piling can provide a permanent, high-value solution for your project.

APPLICATIONS

Dike and Flood Walls
Erosion Barriers
Highway Construction
Retaining Walls
Cut-off (seepage) Walls
Canal Containment
Marina Protection
Controlling Coastal Erosion
Temporary or Permanent Shoring
Canal Bank Stabilization

About Tidewall



The Tidewall dream team was formed by the merger of the original vinyl seawall manufacturer, Bama Plastics; and a premier vinyl recycling company, Regenex Corporation.

Bama Plastics brings more than 20 years of contract sheet piling manufacturing to our partnership; more than any other company. In fact, you may be surprised to discover that several sheet piling suppliers don't even do their own manufacturing. Much of the sheet piling installed under another name was in fact originally produced under contract by Bama Plastics.

Regenex Corporation has been a leader in the vinyl recycling industry since 1992. Over the years, Regenex has supplied millions of pounds of premium recycled vinyl window compound to the vinyl sheet piling industry. Vinyl window compound is the best, most weatherable, impact modified compound for vinyl sheet piling. Other vinyl sheet piling suppliers may use lower grade siding, fencing, or pipe grade compounds.

The partnership of these two companies to form Tidewall offers tremendous benefits. We have the ability to completely control our quality, insuring a beautifully finished, premium quality wall. From the specification and sourcing of the raw material, to the careful processing and blending, to the state of the art extrusion, our quality is second to none.

This vertical integration also gives us unmatched cost control. Because of this, we have made it our goal to make Tidewall sheet piling more affordable to you. We welcome price comparisons between Tidewall and other sheet piling products.

Tidewall vinyl sheet piling has been installed in many countries around the world, for flood walls, erosion protection walls, cut-off walls, etc. The combination of performance and low cost leads to our motto "THE BEST VALUE IN VINYL SHEET PILING".

One final comment: Bama Plastics and Regenex Corporation both built their reputations upon outstanding customer service, and that tradition continues with Tidewall. We bend over backwards to meet our customer's needs, and when we make a commitment, we will live up to it. You can count on it!

APPLICATIONS

Dikes and Flood Walls

Multi-wall

Tidewall is an excellent option for flood protection walls. Either as a stand-alone wall, or to increase the height of an existing dike, or in a terraced multi-wall system, Tidewall is a cost-effective solution to protecting flood prone areas.

Stand-alone

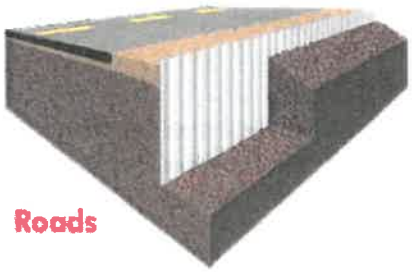
Erosion Barriers

Navy Style

Tidewall has long been used to control erosion at the interface between land and water. Property located on lakes, canals, ponds, and other waterways is subject to erosion that can recede the shoreline. Tidewall provides a permanent solution that eliminates erosion, and improves the use and functionality of the property.

Cantilevered

Road Construction



Roads

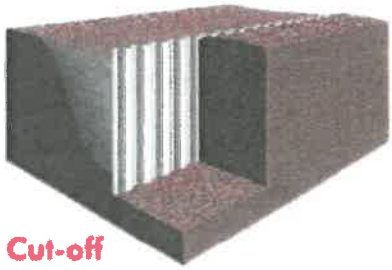
Tidewall can be used in several ways in road construction. First, for roads that are built across a slope, Tidewall has been used as a retaining wall to allow construction of a shoulder, and to diminish the gravitational stress on the roadbed. Second, it can be used as a cut-off or seepage wall to keep subterranean water away from bridge abutments and road supports.

Retaining Walls

Tidewall can be used as a retaining wall, either as a single wall or as a series to terrace a sloped surface, allowing more effective utilization of the land. Especially in applications where aesthetics are important, Tidewall retaining walls provide a superior alternative to steel or wood.

Retaining

Cut-off (seepage) Walls

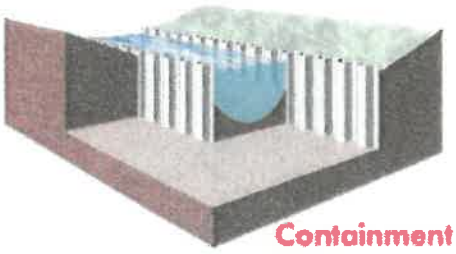


Cut-off

Tidewall can be used quite effectively to control the flow and seepage of subterranean fluid. Many applications, from the protection of structures, to the containment of landfill effluent, to wetlands management, can effectively utilize Tidewall vinyl sheet piling to create a barrier to underground fluid migration.

Canal Containment

Managing and controlling water resources via canal structures is becoming more important in many areas. Tidewall offers an effective low-cost alternative for canal containment.



Containment

BENEFITS

	TIDEWALL	Steel	Concrete	Wood
Cost	Low	High	Medium	Low
Weight	Light	Heavy	Extra Heavy	Medium
Resistance to Corrosion	High	Low	N/A	N/A
Resistance to Chemical & Sea Water Environment	High	Low	High	Low
Resistance to Cracking & Spalling	High	N/A	Medium	N/A
Warranty	60 Years	Varies	Varies	No
Environmentally Friendly	Yes	Yes	No	No
Locks	Yes	Yes	No	No
Aesthetics	High	Low	Medium	Medium
Installation	Easy	Easy	Difficult	Moderate
Design Flexibility	High	High	Moderate	High

COST - Tidewall vinyl sheet piling costs much less than the alternatives.

WEIGHT - Tidewall is much lighter and easier to ship and handle than any alternative.

RESISTANCE TO CORROSION - Unlike steel, Tidewall will not rust or corrode.

RESISTANCE TO CHEMICAL & SEA WATER ENVIRONMENT - Tidewall can be used in high salinity and many other corrosive environments.

RESISTANCE TO CRACKING & SPALLING - Unlike concrete, Tidewall will not crack or spall over time.

WARRANTY - Tidewall offers a 60 year transferrable warranty.

ENVIRONMENTALLY FRIENDLY - Tidewall is produced from 100% recycled rigid PVC compound. Further recycling of the material is also possible.

LOCKS - Tidewall locks are designed to allow the sheets to slide together smoothly, but remain locked together under load. It is possible to seal the locks to completely prevent moisture penetration.

AESTHETICS - Tidewall will maintain its appearance for many decades, unlike alternative materials.

INSTALLATION - Tidewall installs easily, using equipment and techniques commonly available.

DESIGN FLEXIBILITY - Graceful curves are possible, as well as clean, sharp corners, depending upon the project requirements.

TIDEWALL

Tidewall is manufactured from exterior grade highly weatherable, UV stabilized rigid PVC.

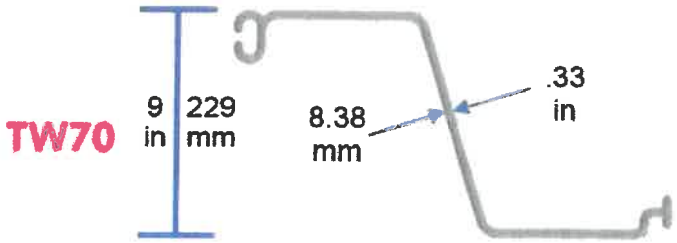
Data Sheet

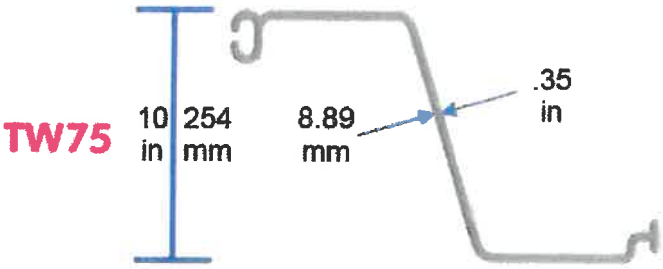
	UNIT	ASTM	TW25	TW30	TW35	TW50	TW70	TW75	TW80	TW85	TW95
Section Width (W)	mm	-	457	508	305	508	457	457	457	457	457
Section Depth (D)	mm	-	152	178	178	203	228	254	254	254	305
Flange Thickness (T)	mm	-	6.35	6.35	6.60	7.62	8.39	8.89	10.41	11.18	11.70
Weight	kg/m	-	7.10	8.05	5.07	9.41	8.91	10.28	11.58	12.06	13.25
Length (stock)	m	-	11.95	11.95	11.95	11.95	11.95	11.95	11.95	11.95	11.95
Moment of Inertia	cm^4/m	-	3,742	5,653	5,708	9,655	12,008	17,698	19,241	22,709	32,179
Section Modulus	cm^3/m	-	489	623	651	866	1,050	1,339	1,462	1,717	1,990
Ultimate Moment	kg-m/m	-	2.263	2,890	3,010	4,005	4,860	6,194	6,767	7,948	9,224
Allowable Moment	kg-m/m	-	1,132	2,890	1,505	2,002	2,430	3,097	3,383	3,980	4,612
Tensile Strength	Mpa	D638	44.8	44.8	44.8	44.8	44.8	44.8	44.8	44.8	44.8
Flexural Strength	Mpa	D790	78.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
Modulus of Elasticity (MD)	Mpa	D790	2,620	2,620	2,620	2,620	2,620	2,620	2,620	2,620	2,620
Notched Izod Impact Test	kg/cm	D256	2.46	2.46	2.46	2.46	2.46	2.46	2.46	2.46	2.46
Heat Deflection Temp.	°C	D648	70	70	70	70	70	70	70	70	70

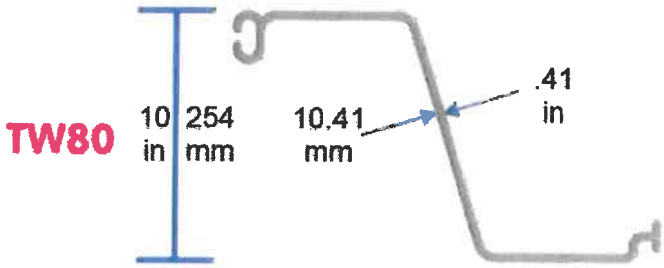
Tidewall Vinyl Sheet Piling is engineered for the sheet piling construction industry according to "United States Army Corp of Engineers design guidelines and tested to ASTM material specifications".

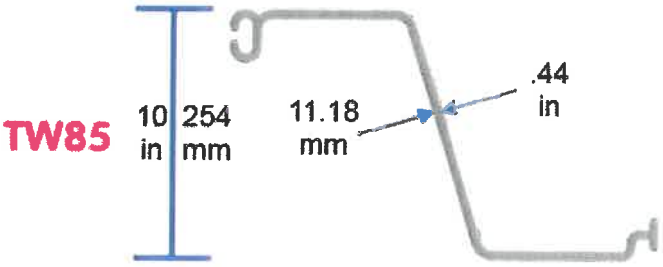
PROFILES

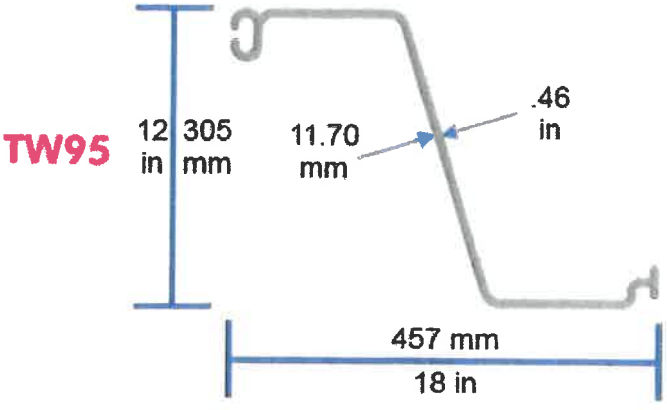
Z Profiles

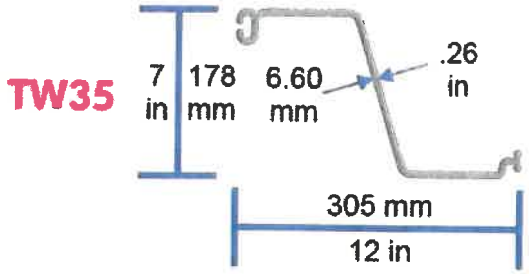




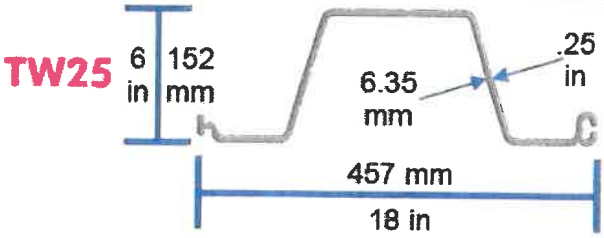


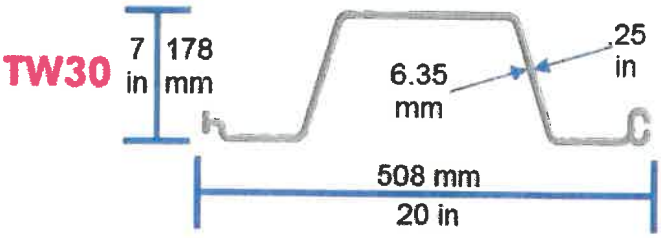


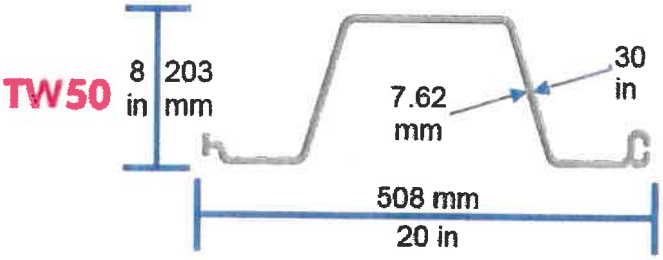




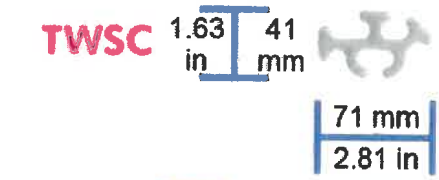
Box Profiles

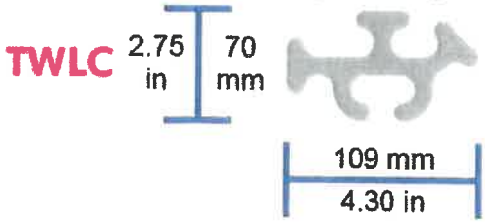






Corner Profiles





Engineering & Use of Tidewall

The use of Tidewall in any application should be done in compliance with engineering plans, drawings, and documentation. These should be developed and submitted for the particular project by a structural engineer or designer familiar with the materials and local site conditions. The application and installation of Tidewall should follow precisely these design specifications.

Installation

Tidewall is designed to be driven into the ground similar to steel sheet piles. Many different methods and equipment are used for driving Tidewall, but these are the most common driving methods.

VIBRO HAMMER

A vibro hammer is used to lift the sheets, sometimes in tandem, and vibrate the sheets into the soil. Much lighter weight vibro hammers should be used for Tidewall than would be used for steel piling, however.

PLATE COMPACTOR

In areas where the soil is moderately stiff or less, a plate compactor on a backhoe can drive Tidewall sheets smoothly and efficiently.

COMPRESSION DRIVING

Where the soils are very soft, simple compression driving works well to install Tidewall sheets. The bucket of a backhoe is used to exert downward pressure on the sheets, pressing them smoothly into the ground. This method works better with the heavier Tidewall Sheets such as TW75 and above.

Projects Concluded

Vietnam Flood Walls - Ho Chi Minh City, Vietnam

Installation:	**TW25, TW40, TW80**
Linear Feet/Meters:	**5,300 Lineal Meters**
Sheet Lengths:	**Varied**
Soil Conditions:	**Sand/Silt, some clay**
Existing Wall:	**None**
Contractor:	**CNS Corporation**
Design Engineer:	**CNS Corporation**
Installation Method:	**Tracked Crane with Vibro Hammer**

Tidewall was installed as a flood wall on several canals prone to flooding. The earthen dikes would erode and fail, allowing the flood waters to breach the dike. The Tidewall sheets were driven into the center of the dikes, with the wall projecting above the top of the dike to a specified height, providing a permanent solution to the flooding problems.

Tairua Marina - Tauranga, New Zealand

Installation:	**TW80 Clay**
Linear Feet/Meters:	**510 Lineal Meters**
Sheet Lengths:	**5.4 and 6.4 Meters**
Soil Conditions:	**Sand**
Existing Wall:	**None**
Contractor:	
Design Engineer:	
Installation Method:	**Plate Compactor**

Tidewall sheets were used to construct a secure, permanent wall around a new high-end marina in Tauranga, New Zealand. Tidewall was chosen for its combination of aesthetics, corrosion resistance, and low cost. Precast concrete sections were placed atop the wall, and the final result is a beautiful wall that will last for decades.

Road Erosion - LaFourche Parish, LA

Installation:	**TW75**
Linear Feet/Meters:	**960 Lineal Meters**
Sheet Lengths:	**3 Meters**
Soil Conditions:	**6' Organic soil above clay**
Existing Wall:	**None**
Contractor:	**Barriere Construction**
Design Engineer:	**Duplantis Design Group**
Installation Method:	**315 Cat Excavator with flat press plate**

Due to the extreme slope of the land, this road in Lafourche Parish in Louisiana was cracking and sliding down the slope, causing unsafe conditions and resulting in ongoing repair expenses. The problem was corrected using Tidewall TW75 in 3 meter long sheets, with approximately 2/3 meter of exposed height. This brought the shoulder of the road closer to the elevation of the road itself, relieving the stress on the asphalt and allowing permanent repairs to be made.

Thailand Floodwall - Bangkok, Thailand

Installation:	**TW80**
Linear Feet/Meters:	**250 Lineal Meters**
Sheet Lengths:	**6 Meters**
Soil Conditions:	**Sand and Clay**
Existing Wall:	**Masonry Concrete behind**
Contractor:	**CLS**
Design Engineer:	**CLS**
Installation Method:	**Portable Pile Hammer**

Tidewall was installed as a flood wall surrounding a valuable commercial installation. Thailand experienced a major flood in 2011, resulting in a need for cost-effective floodwalls throughout populated areas. Tidewall was an ideal solution; a 2 meter high wall finished with a steel reinforced concrete cap.

Sustainable Erosion Control Solutions

TIDEWALL™

The best value in vinyl sheet piling

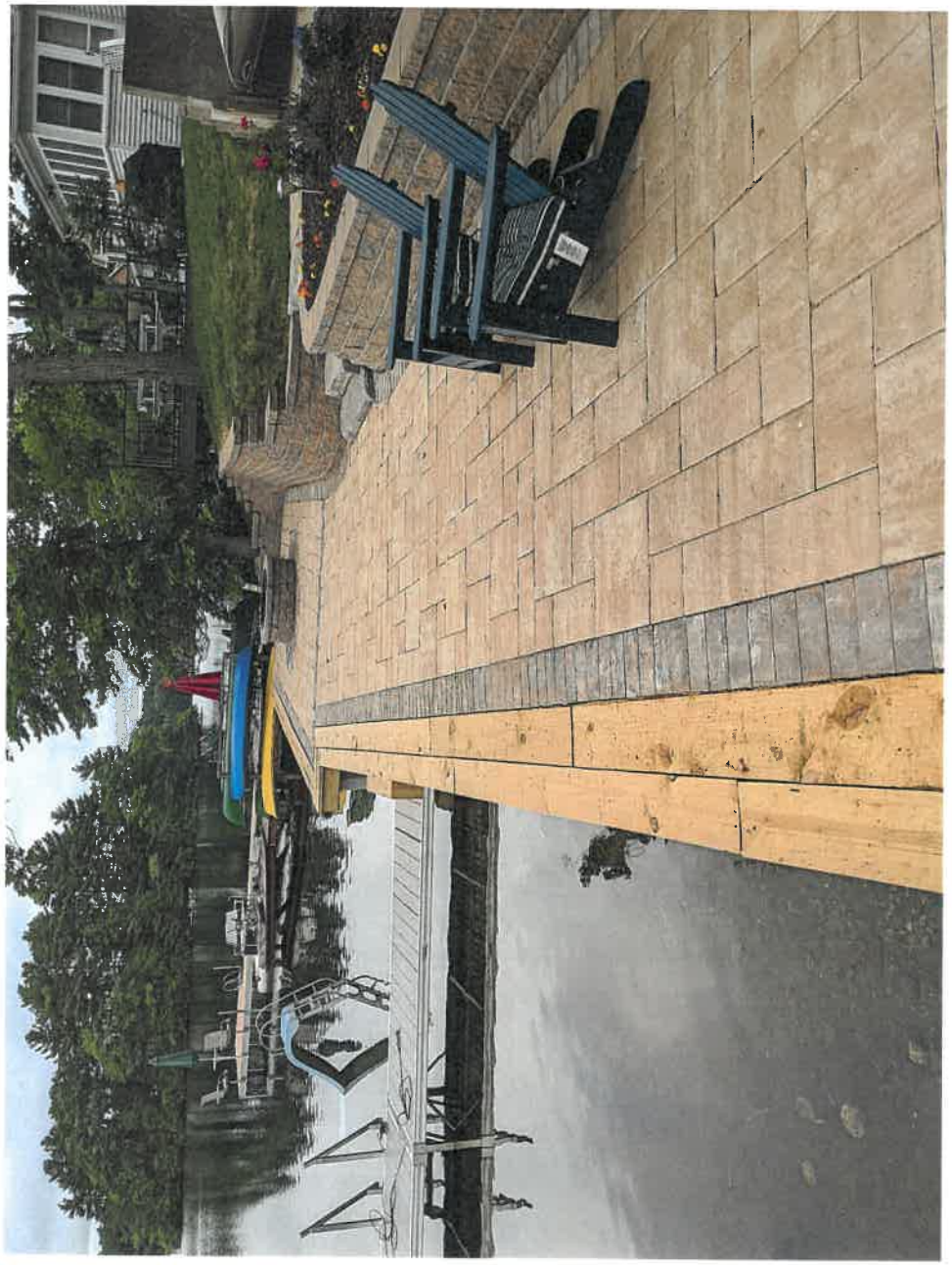
TIDEWALL - USA

Tidewall
One New Street
P.O. Box 608
West Middlesex, PA. 16159, USA

Phone: 724-528-5900
Fax: 724-528-5903
email: info@tidewall.com
sales@tidewall.com
Website: www.tidewall.com

Your Regional Distributor

58 Island Road - 6/19/2020 - Tide Wall



135 So Shore - 6/19/2020 - Existing Wall


135

Jonathan Blake

From: Dennis Lawlor <dplawlor1@hotmail.com>
Sent: Friday, June 19, 2020 2:43 PM
To: Jonathan Blake
Subject: 1460 North Road - Large Rock Boulder in Wetlands Meadow

Hi Jonathan.
It was a pleasure meeting you.
As you requested please find below the rational for my request for approval by the commission to remove the large rock / boulder that is in the wetlands meadow om my property;

- The existing rock / boulder poses no benefit to the existing wetlands meadow.
- The rock / boulder is a potential hazard for residential enjoyment ie: kids / grandkids could trip / fall and injure their head.
- Courts have said that the wetlands meadow can be maintained for and enjoyed by residential use.
- Area surrounding the rock / boulder is also wetlands meadow so no foreign material / soil could be brought into area where the rock is located.

If permission is granted, during removal careful considerations will be made to the wetlands meadow;

- No heavy excavating equipment will be used.
- Pick and shovel or residential lawn tractor or small farm backhoe will be used. Wood planking used under stabilizers.

Once the boulder is removed, the hole will be filled with organic soil. No grass seed will be applied and only natural surrounding vegetation will be allowed to grow on its own.

Attached are photos.

I look forward to hearing from you.

Regards,
Dennis Lawlor
1460 North road

Dayville, CT 06241-1428

Sent from Mail for Windows 10

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning • Structural • Mechanical • Architectural Engineering

P.O. Box 191
57 East Main Street
Plainfield, CT 06374

Telephone (860) 230-0856
Fax (860) 230-0860
www.prorovinc.com

April 30, 2020

Jonathan Blake
Town of Killingly
172 Main Street
Killingly, CT 06239

RE: Snake Meadow Club – Snake Meadow Road – Killingly, CT
P&R Job No. 203011

Dear Mr. Blake:

On behalf of Snake Meadow Club, Inc., we are requesting that the IWWC permit granted under application #15-1413 be extended for an additional five years from the current expiration date. The requested permit extension will coincide with the currently pending special permit application before the Planning & Zoning Commission. For your reference, I have attached the plans submitted as part of the special permit application. The proposed regulated activities are essentially the same what was originally approved. The regulated activities have been slightly reduced along the Snake Meadow Brook corridor on the westerly side of the project.

If you have any questions or need additional information, please do not hesitate to contact us at your convenience.

Sincerely,

David J. Held, P.E., L.S.
Provost & Rovero, Inc.

CC: Kevin Brignole, Snake Meadow Club, Inc.