

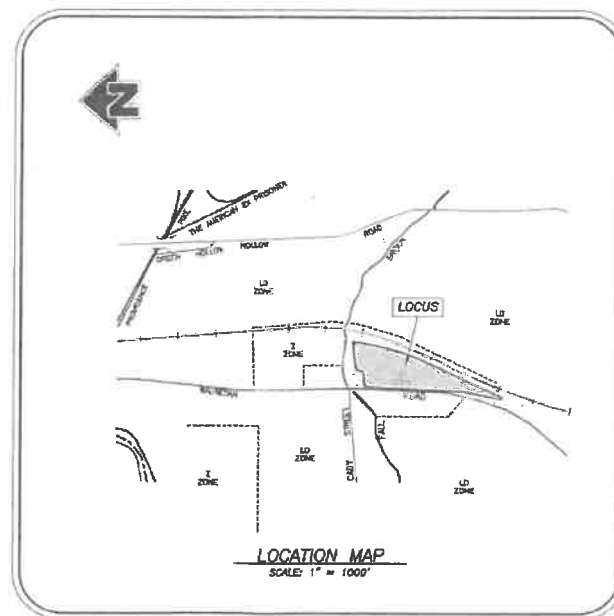
# PROPOSED GRAVEL EXCAVATION

120 WAUREGAN ROAD (ROUTE 12)  
KILLINGLY, CONNECTICUT

PREPARED FOR:  
**JOLLEY COMMONS, LLC.**

**LEGEND**

○	IRON PIN FOUND
□	CHD MONUMENT FOUND
□	CHD MONUMENT POINT
□	CATCH BASIN
↑	SIGN
⊙	LIGHT POLE
⊙	GAS GATE
○	MANHOLE
○	SANITARY SEWER MANHOLE
○	BOLLARD
⊙	UTILITY POLE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	INLAND WETLANDS FLAG
---	BUILDING SETBACK LINE
---	METAL BEAM GUIDE RAIL
---	OVERHEAD WIRES
---	STONE WALL
---	STONE WALL REMAINS
---	SILT FENCE



INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 6
EXISTING CONDITIONS PLAN	2 OF 6
PHASE 1 EXCAVATION PLAN	3 OF 6
FINAL EXCAVATION PLAN	4 OF 6
SIGHTLINE DEMONSTRATION PLAN	5 OF 6
DETAIL SHEET	6 OF 6

RECEIVED

FEB 14 2022

PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY

PREPARED BY:

REVISIONS	
DATE	DESCRIPTION

**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

December 2021

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION

Special Permit No: \_\_\_\_\_

Applicant: \_\_\_\_\_

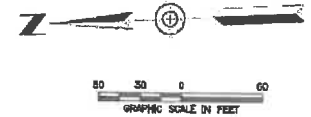
Date Approved: \_\_\_\_\_

Checkman: \_\_\_\_\_

Date: \_\_\_\_\_

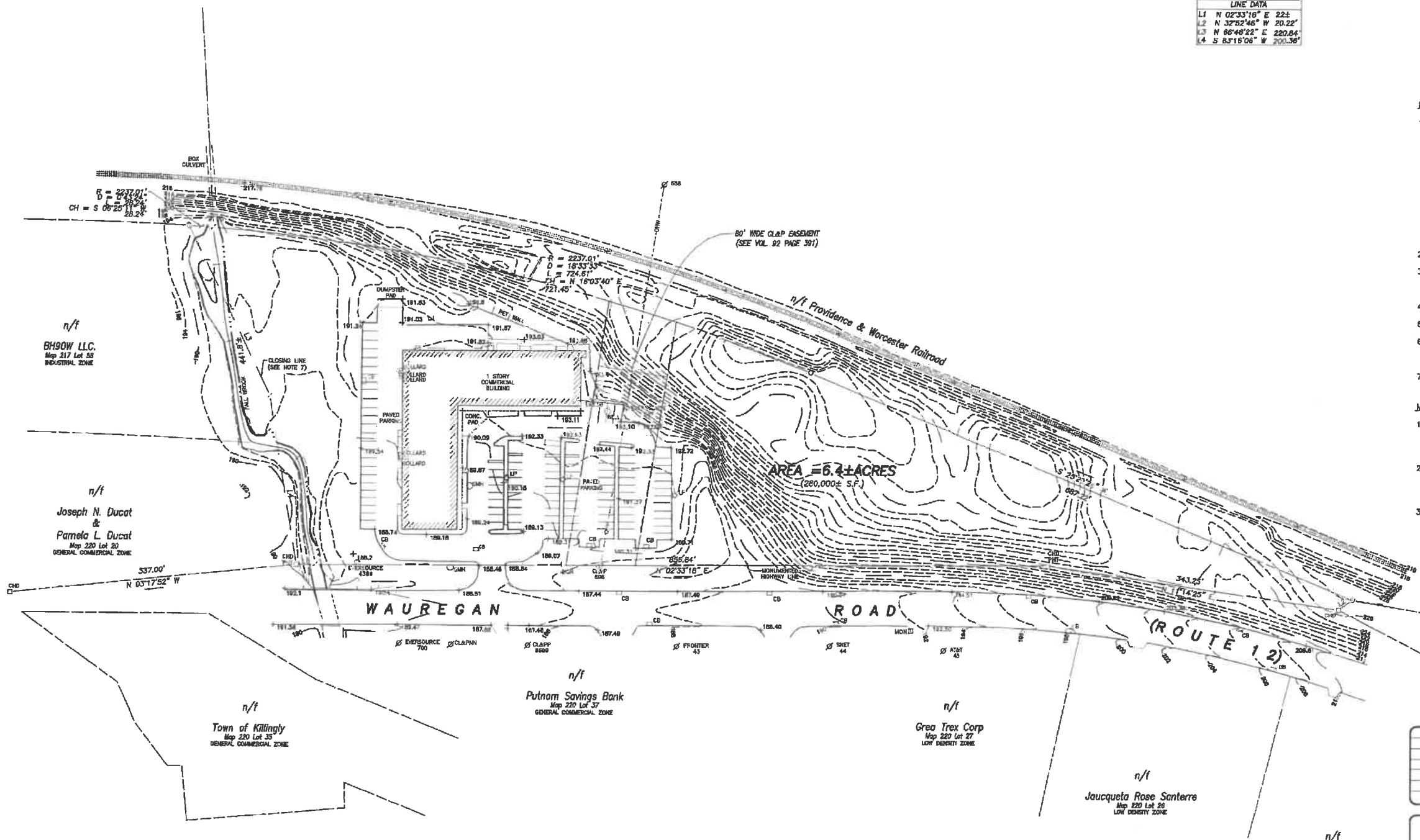
NORWAND THREBULT, JR., P.E. No. 22834 DATE

LINE DATA	
L1	N 02°33'16" E 22±
L2	N 32°52'46" W 20.22±
L3	N 66°48'22" E 220.64±
L4	S 83°18'08" W 200.36±



- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
    - This survey conforms to a Class "A-2" horizontal accuracy.
    - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
    - Survey Type: Improvement Location Survey.
    - Boundary Determination Category: Dependent Resurvey.
  - Zone = GC.
  - Owner of record: Jolley Commons, LLC  
524 Wauregan Road Brooklyn, Connecticut  
See Volume 863, Page 180
  - Existing Parcel predates zoning.
  - Parcel is shown as Lot #21 on Assessors Map #220.
  - Elevations shown are based on an NAVD 88 Datum. Contours taken from Killingly GIS and supplemented with actual field survey. Contour interval = 2'.
  - A closing line is a random line used for technical purposes. It is not to be construed as a boundary line.

- MAPREFERENCE:**
- "Subdivision plan - Michael J. Cristina - Route 12 - Killingly, Connecticut - Scale: 1" = 100' - Date: April 30, 1988 - Prepared by Kathyta Woods & Pike Land Surveyors - Killingly, Connecticut" On file in the Killingly Land Records as Map #HF20A.
  - "Site development plan - Wayne L. Jolley & Leslie A. Jolley - Route 12 - Killingly, Connecticut - Scale: 1" = 80' - Date: August 3, 1989 - Prepared by KWP Associates - Killingly, Connecticut" On file in the Killingly Land Records as Map #S-116.
  - "Town of Killingly - Map Showing Land Returned to - Wayne L. Jolley - By State of Connecticut - Date: Route 12 - Scale: 1" = 40' - Date: October 1992 - Prepared by James F. Byrnes" On file in the Killingly Land Records as Map #HF206B.



- LEGEND**
- IRON PIN FOUND
  - ⊙ DRILL HOLE FOUND
  - ⊠ CHD MONUMENT FOUND
  - ⊡ CHD MONUMENT POINT
  - ⊢ SIGN
  - ⊛ LIGHT POLE
  - ⊜ UTILITY POLE
  - BOLLARD
  - ⊞ GAS GATE
  - ⊟ CATCH BASIN
  - ⊠ MANHOLE
  - ⊡ SANITARY SEWER MANHOLE
  - ⊛ TEST HOLE
  - - - 100' - - - EXISTING CONTOURS
  - BUILDING SETBACK LINE

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

Special Perm# No: \_\_\_\_\_

Approve: \_\_\_\_\_

Date Approved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Date: \_\_\_\_\_

DATE	DESCRIPTION

IMPROVEMENT LOCATION SURVEY  
EXISTING CONDITIONS PLAN  
PREPARED FOR  
**JOLLEY COMMONS, LLC**  
120 WAUREGAN ROAD  
KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Woodland Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyeng.com

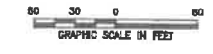
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE \_\_\_\_\_

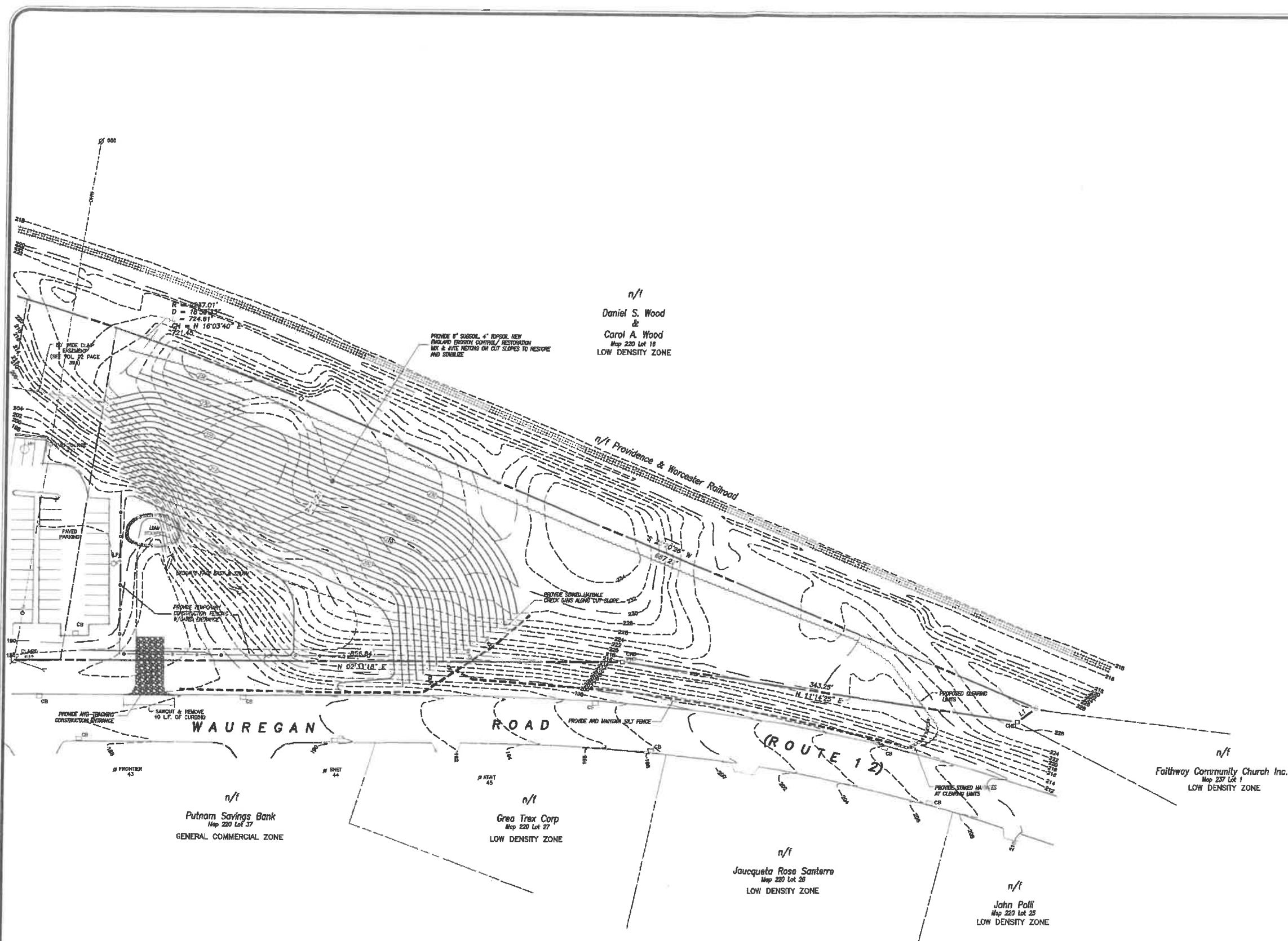
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

DATE: 12/21/2021	DRAWN: RGS
SCALE: 1" = 80'	DESIGN: _____
SHEET: 2 OF 6	CHK BY: CG
DWG. No: CLIENT-FILE	JOB No: 21070

K:\21070\Wauregan\02\_21070\_001.dwg Feb 11, 2022 - 1:08 PM



LINE DATA	
L1	N 02°33'18" E 22±



DATE	DESCRIPTION

IMPROVEMENT LOCATION SURVEY  
 PHASE I EXCAVATION PLAN  
 PREPARED FOR  
**JOLLEY COMMONS, LLC**  
 120 WAUREGAN ROAD  
 KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
 Civil Engineering & Surveying  
 114 Westcott Road  
 P.O. Box 421  
 Killingly, Connecticut 06241  
 (860) 779-7299  
 www.killinglyeng.com

DATE: 12/21/2021	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 3 OF 6	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21070

APPROVED BY THE TOWN OF  
 KILLINGLY PLANNING AND ZONING COMMISSION

Special Permit No: \_\_\_\_\_  
 Applicant: \_\_\_\_\_  
 Date Approved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Date: \_\_\_\_\_

NORMAND E. THIBEAULT, JR., P.E. DATE  
 LIC #PEN 0022834

K:\Projects\Wauregan\21070 PHASE I PLAN.dwg Pld 11, 2022 - 1:07 PM

Volumes by Triangulation (Prisms)  
 Existing Surface: K:\21070\Drawings\existing grade.tin  
 Final Surface: K:\21070\Drawings\PROPOSED GRADE.tin

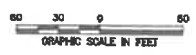
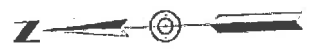
Cut volume: 1,856,952.2 C.F., 66,776.01 C.Y.  
 Fill volume: 88,203.1 C.F., 3,192.71 C.Y.  
 Net Cut Volume: 1,770,749.1 C.F., 63,583.3 C.Y.

Area in Cut : 97,885.7 S.F., 2.25 Acres  
 Area in Fill: 13,716.2 S.F., 0.31 Acres  
 Total inclusion area: 111,612.6 S.F., 2.56 Acres

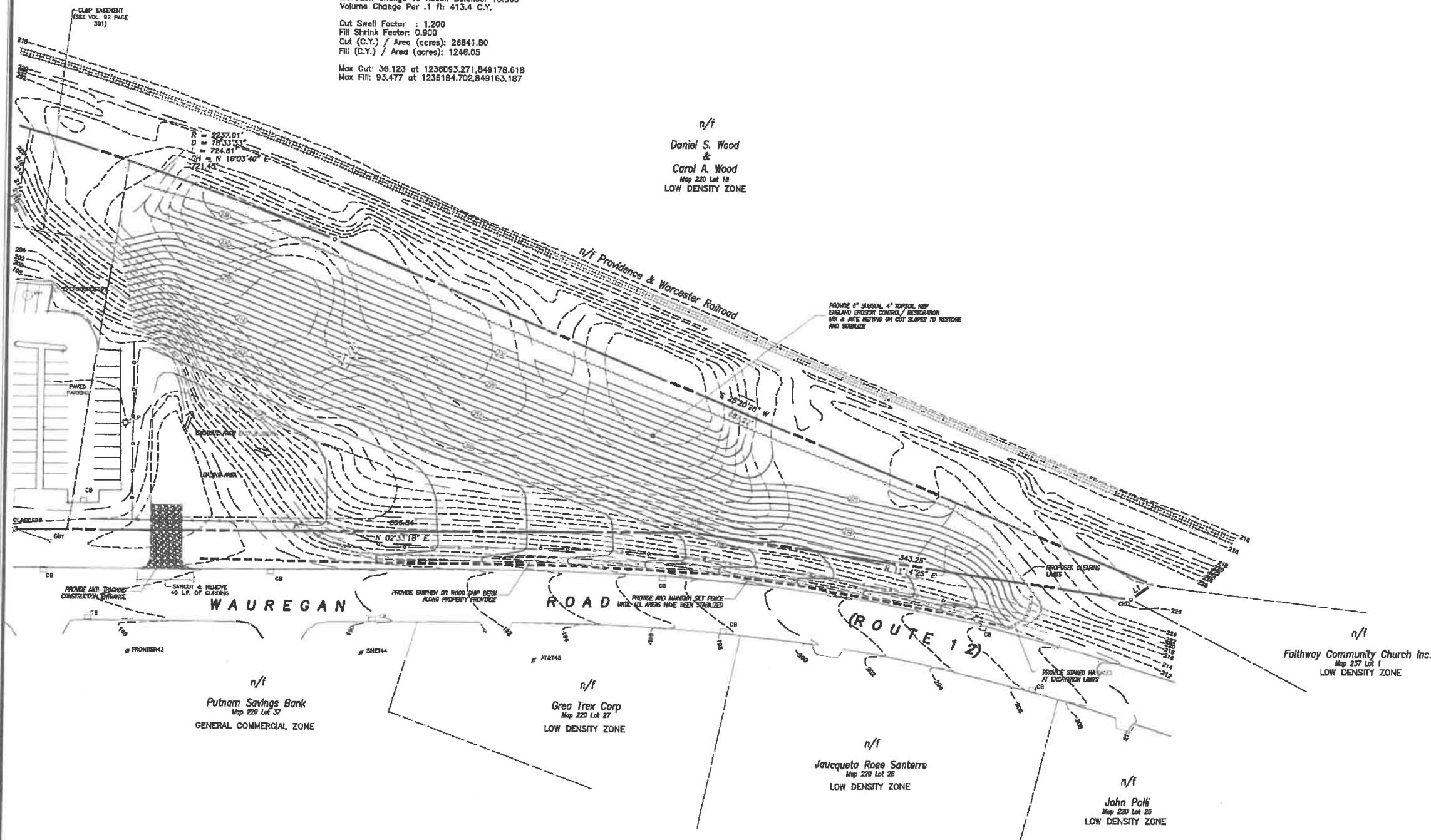
Average Cut Depth: 15.81 feet  
 Average Fill Depth: 6.88 feet  
 Cut to Fill ratio: 21.54  
 Export Volume: 65,583.3 C.Y.  
 Elevation Change To Reach Balance: 15.865  
 Volume Change Per .1 ft: 413.4 C.Y.

Cut Swell Factor : 1.200  
 Fill Shrink Factor: 0.900  
 Cut (C.Y.) / Area (acres): 26841.80  
 Fill (C.Y.) / Area (acres): 1246.05

Max Cut: 36.123 at 1238093.271,849178.618  
 Max Fill: 93.477 at 1236184.702,849163.187



LINE DATA  
 L1 N 02°35'18" E 224.



n/f  
 Daniel S. Wood  
 &  
 Carol A. Wood  
 Map 220 Lot 18  
 LOW DENSITY ZONE

n/f  
 Faithway Community Church Inc.  
 Map 237 Lot 1  
 LOW DENSITY ZONE

n/f  
 Putnam Savings Bank  
 Map 220 Lot 37  
 GENERAL COMMERCIAL ZONE

n/f  
 Grea Trex Corp  
 Map 220 Lot 27  
 LOW DENSITY ZONE

n/f  
 Jacqueta Rose Santerre  
 Map 220 Lot 28  
 LOW DENSITY ZONE

n/f  
 John Polli  
 Map 220 Lot 25  
 LOW DENSITY ZONE

DATE	DESCRIPTION

IMPROVEMENT LOCATION SURVEY  
 FINAL EXCAVATION PLAN  
 PREPARED FOR  
**JOLLEY COMMONS, LLC**  
 120 WAUREGAN ROAD  
 KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
 Civil Engineering & Surveying  
 114 Wauregan Road  
 P.O. Box 221  
 Killingly, Connecticut 06241  
 (860) 779-7299  
 www.killinglyengineering.com

DATE: 12/21/2021	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 4 OF 6	CHK BY: GG
DRG. No: CLIENT FILE	JOB No: 21070

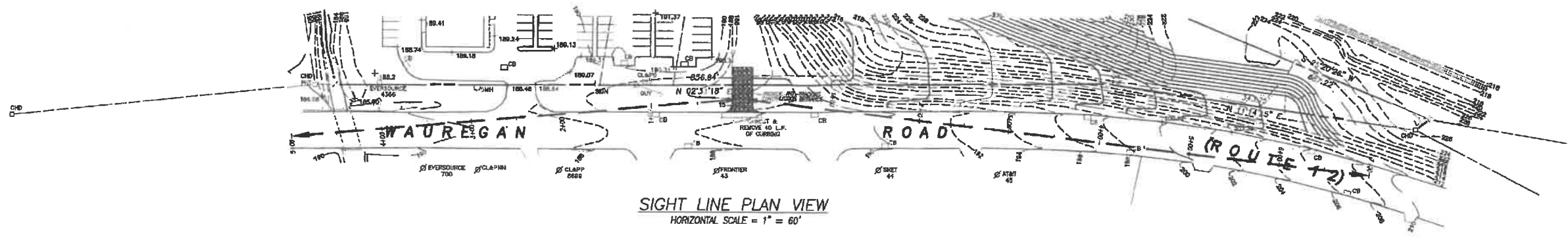
APPROVED BY THE TOWN OF  
 KILLINGLY PLANNING AND ZONING COMMISSION  
 Special Permit No: \_\_\_\_\_  
 Applicant: \_\_\_\_\_  
 Date Approved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Date: \_\_\_\_\_

ANDREW E. THIBEAULT, JR., P.E. DATE  
 LIC #PEH 0022824

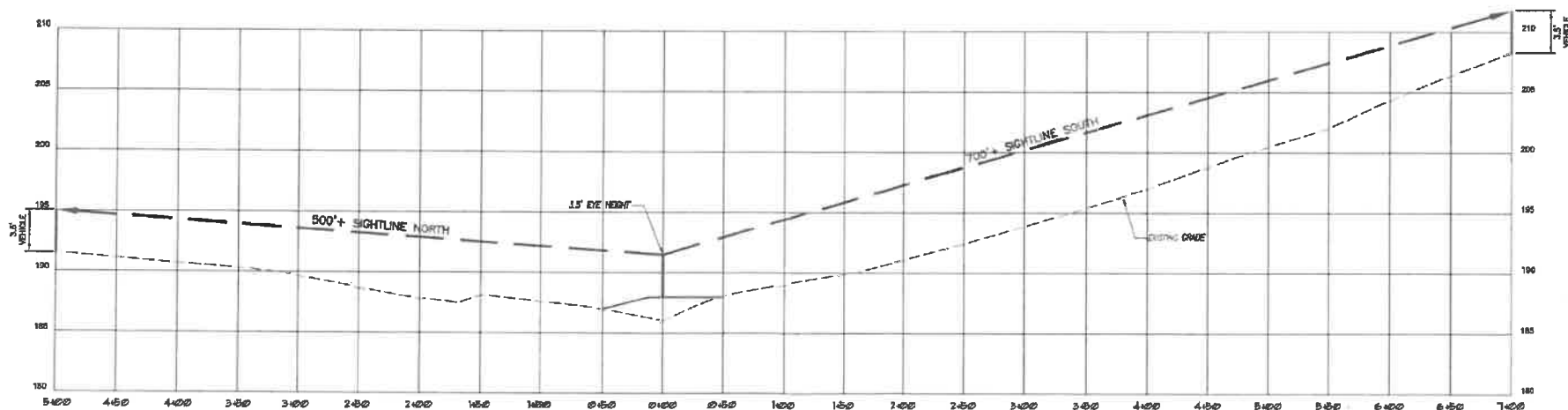
K:\21070\Drawings\21070 FINAL EXCAVATION PLAN.dwg Pub 11: 2022 - 1:07 PM



LINE DATA  
L1 N 02°33'18" E 22±



SIGHT LINE PLAN VIEW  
HORIZONTAL SCALE = 1" = 60'



SIGHT LINE PROFILE  
HORIZONTAL SCALE = 1" = 60'  
VERTICAL SCALE: 1" = 6'

DATE	DESCRIPTION

SIGHTLINE DEMONSTRATION PLAN  
PREPARED FOR  
**JOLLEY COMMONS, LLC**  
120 WAUREGAN ROAD  
KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Weston Road  
P.O. Box 21  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyeng.com

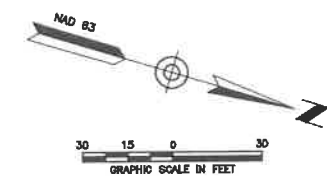
DATE: 12/21/2021	DRAWN: NET
SCALE: 1" = 60'	DESIGN: NET
SHEET: 5 OF 8	CHK: BY: GC
DWG. No: CLIENT FILE	JOB No: 21070

NORMAN E. THIBault, JR., P.E. DATE  
LIC. #PEM 0022534

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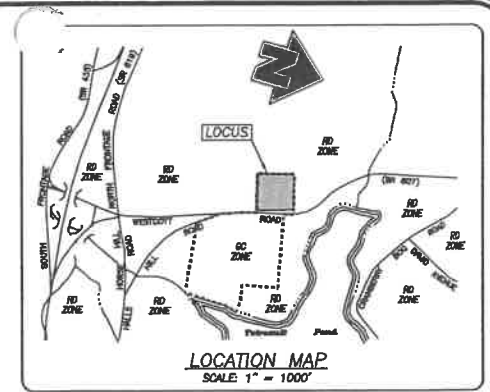
APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION  
Special Permit No: \_\_\_\_\_  
Applicant: \_\_\_\_\_  
Date Approved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Date: \_\_\_\_\_





CURVE DATA	
C1 R = 691.80' D = 21°41'41" L = 261.85' CH = N 38°13'08" W 260.38'	C2 R = 691.80' D = 7°53'07" L = 85.21' CH = S 23°25'44" E 95.13'

LINE DATA	
L1	N 72°15'34" E 5.68'



**RECEIVED**  
MAR 17 2022  
PLANNING DEPT.  
KILLINGLY

- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
    - This survey conforms to a Class "A-2" horizontal accuracy.
    - Topographic features conform to a Class "T-D" vertical accuracy.
    - Survey Type: Property Survey.
    - Boundary Determination Category: Dependent Resurvey.
  - Zone = GC.
  - Owner of record: American Sports Centers, Inc.  
174 Cranberry Bog Road, Killingly, CT 06239  
See Volumes 1310, Page 109
  - Parcel is shown as Lot #5 on Assessors Map #214.
  - Elevations shown are based on North American Vertical Datum of 1988 (NAVD 88). Contours taken from the Town of Killingly's GIS data and supplemented with actual field survey. Contour Interval = 2'.

- MAP REFERENCES:**
- "Connecticut state Highway Department - Right of Way Map Town of Killingly - Danlison - So. Killingly Road from Stearns St. Southeasterly to South Killingly - Route U.S.6. - Scale: 1" = 40' - Date: Aug. 31, 1936 - Number 68-04 - Sheet No. 3 of 5.
  - "Survey Plan - Prepared for - Joseph Rathona Jr. - Route #8A Killingly, Connecticut - Scale: 1" = 40' - Date: 6/11/1985 Revised to: 3/21/1991 - Sheet 1 of 1 - Prepared by: Kieltyka, Woods & Pika. On file in the Town of Killingly Land Records as map S-141.

DATE	DESCRIPTION
03/17/2022	APPLICATION RE-SUBMITTAL
07/18/2022	FINAL PLAN REVIEW
01/03/2022	LANDSCAPE MODIFICATIONS
	REVISIONS

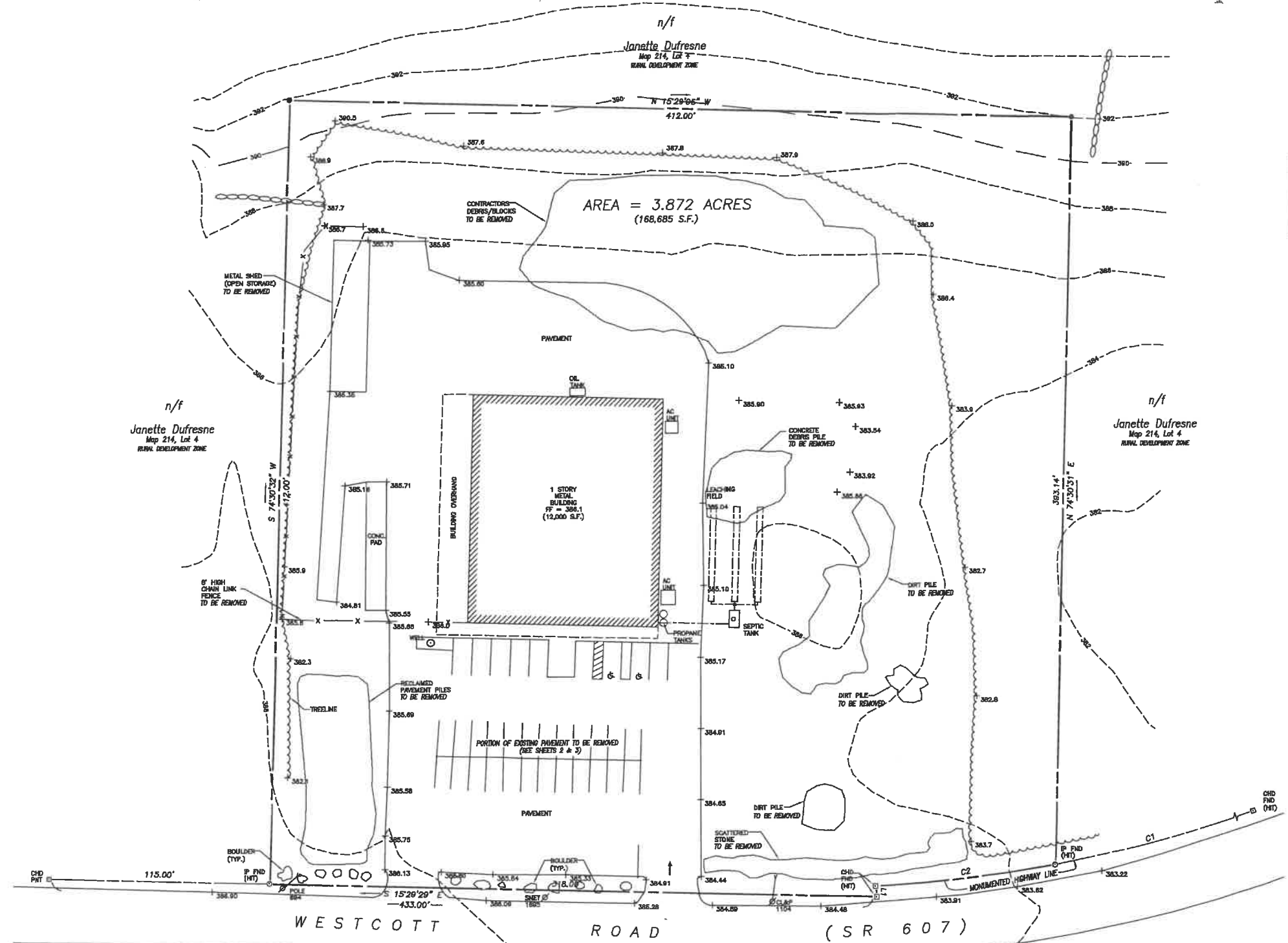
IMPROVEMENT LOCATION SURVEY  
SHOWING EXISTING CONDITIONS  
PREPARED FOR  
**AMERICAN STORAGE CENTERS, LLC**  
551 WESTCOTT ROAD (SR 607)  
KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 10/14/2021	DRAWN: AMR
SCALE: 1" = 30'	DESIGN: NET
SHEET: 1 OF 4	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 17157

**RECEIVED**  
MAR 17 2022  
# 22-1286

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,  
GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE



**LEGEND**

●	CONCRETE
○	IRON PIN TO BE SET
○	IRON PIN FOUND
□	CHD MONUMENT FOUND
□	CHD MONUMENT POINT
⊕	ELECTRIC HANDHOLE
---	EXISTING CONTOURS
⊞	STONE WALL

APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION  
Special Permit No: \_\_\_\_\_  
Applicant: AMERICAN STORAGE CENTERS, LLC  
Date Approved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Date: \_\_\_\_\_

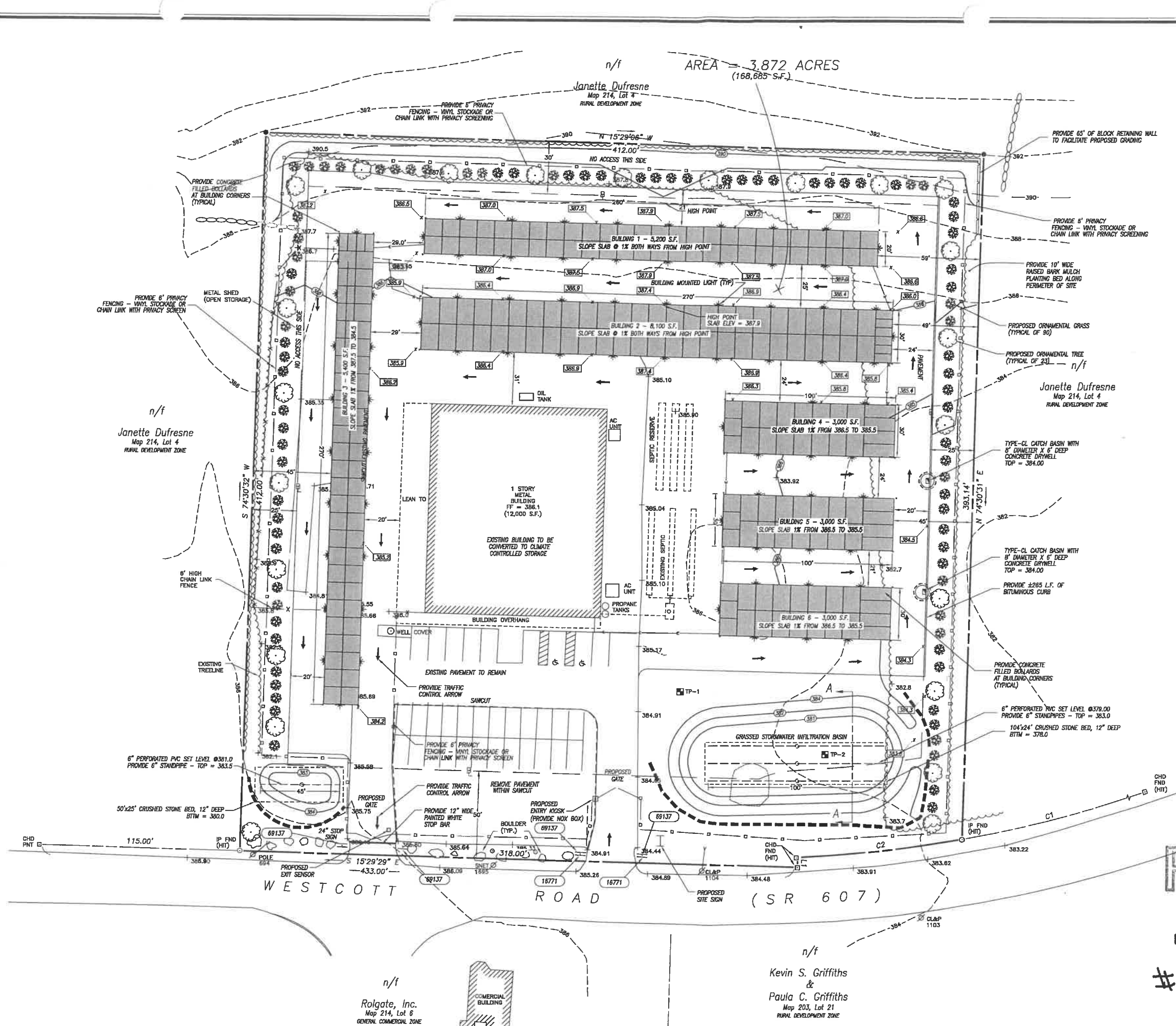
n/f  
Kevin S. Griffiths  
&  
Paula C. Griffiths  
Map 203, Lot 21  
RURAL DEVELOPMENT ZONE

n/f  
Rolgate, Inc.  
Map 214, Lot 6  
GENERAL COMMERCIAL ZONE

n/f  
Janette Dufresne  
Map 214, Lot 4  
RURAL DEVELOPMENT ZONE

n/f  
Janette Dufresne  
Map 214, Lot 7  
RURAL DEVELOPMENT ZONE

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**CURVE DATA**

C1 R = 691.80' D = 21°41'41" L = 261.95' CH = N 38°13'08" W 260.38'	C2 R = 691.80' D = 7°53'07" L = 95.21' CH = S 23°25'44" E 95.13'
---	--

**LINE DATA**

L1 N 72°15'34" E 5.68'
---------------------------

TEST HOLE DATA - December 15, 2017  
Northeast District Department of Health - Brittany Otto

TEST PIT	DEPTH	PROFILE
1	0" - 10" 10" - 17" 17" - 35" 35" - 56" 56" - 87"	Fill Original Topsoil Red-brown sandy loam w/gravel Tan coarse loamy sand Gray silty sand Note: SE side of pit disturbed soil to 53" Ledge N/A 87"
2	0" - 9" 9" - 13" 13" - 36" 36" - 51" 51" - 65" 65" - 85"	Fill Topsoil Fill red/brown coarse loamy sand Gray fine loamy sand with gravel Moist gray loamy sand N/A 87"

PERCOLATION TEST RESULT - December 15, 2017  
Northeast District Department of Health - Brittany Otto

Depth = 48" Rate = 2.1 min./in.

Time	Reading
10:09	3.75"
10:10	5.0"
10:11	6.0"
10:12	6.75"
10:15	7.5"
10:17	8.75"
10:18	9.5"

**BEFORE YOU DIG  
CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

**SURFACE C**

Pavement
Buildings
Grassed/La
Total Impervio

**TABLE C**  
ZONE = C

- Lot Area
- Front Yard Setback
- Side Yard Setback
- Rear Yard Setback
- Building Height
- Lot Coverage

\*75% Max. permitted wit

03/17/2022
01/18/2022
01/03/2022
DATE

SITE  
AMEI  
C  
551  
K

**RECEIVED**

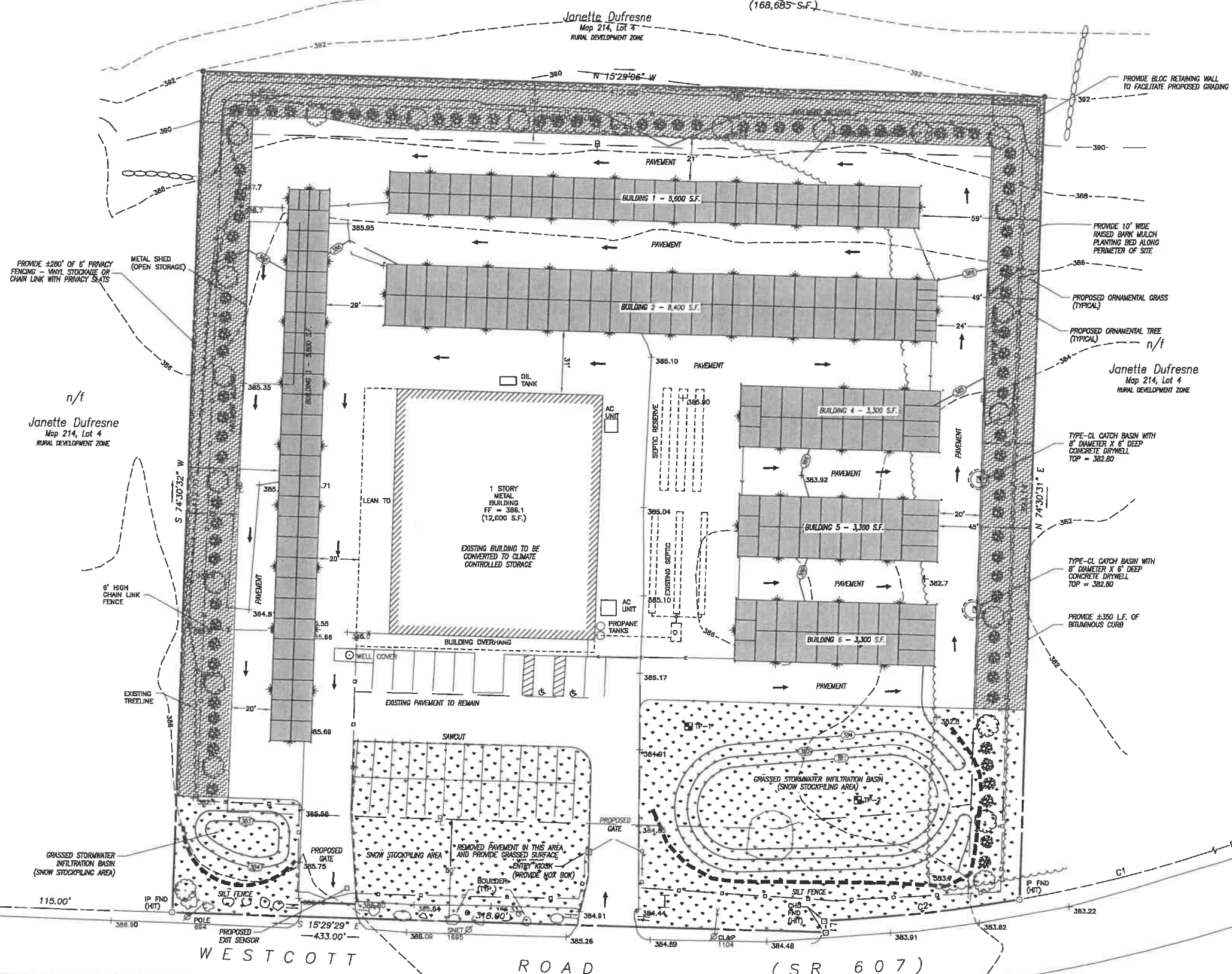
MAR 17 2022  
PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY  
# 22-1286



n/f AREA = 3,872 ACRES  
(168,885 S.F.)

CURVE DATA	
C1 R = 691.80' D = 21'41"41" L = 261.95' CH = N 38'13"08" W 260.38'	C2 R = 691.80' D = 7'53"07" L = 95.21' CH = S 23'25"44" E 95.13'

LINE DATA	
L1	N 72'15"34" E 5.68'



SURFACE	
Pavement	
Buildings	
Grassed/	
Total Imper	

TABLE	
ZONE =	
Lot Area	
Front Yard Setba	
Side Yard Setba	
Rear Yard Setba	
Building Height	
Lot Coverage	

\*75% Max. permitted

03/17/2022	
01/18/2022	
01/03/2022	
DATE	

SUR  
AMEI  
C  
551  
K

**BEFORE YOU DIG  
CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

#22-1286  
**RECEIVED**

MAR 17 2022

PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY

n/f  
Kevin S. Griffiths  
&  
Paula C. Griffiths  
Map 203, Lot 21  
RURAL DEVELOPMENT ZONE

n/f  
Rolgate, Inc.  
Map 214, Lot 6  
GENERAL COMMERCIAL ZONE

**EROSION AND SEDIMENT CONTROL PLAN**

**REFERENCE IS MADE TO:**

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. U.S.D.A. NRCS Web Soil Survey.

**DEVELOPMENT CONTROL PLAN:**

1. Development of the site will be performed by the Contractor, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Killingly will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water. The application of calcium chloride is not permitted adjacent to wetland resource areas or within 100' of these areas.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

**HAY BALE INSTALLATION AND MAINTENANCE:**

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the inland wetlands commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

**TEMPORARY VEGETATIVE COVER:**

**SEED SELECTION**  
Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figures TS-2 in the 2002 Guidelines.

**TIMING CONSIDERATIONS**

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

**SITE PREPARATION**

Install needed erosion control measures such as diversion, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch encroaching.

**SEEDBED PREPARATION**

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by treading with a bulldozer, grading, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is trenched, the trench marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

**SEEDING**

Apply seed uniformly by hand cyclone seeder, drill, outdragger type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 100% when hydroseeding.

**MULCHING**

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 85%-100% coverage.

**MAINTENANCE**

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and fill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION  
Special Permit No: \_\_\_\_\_  
Applicant: AMERICAN STORAGE CENTERS, LLC  
Date Approved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Date: \_\_\_\_\_

**PERMANENT VEGETATIVE COVER:**

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

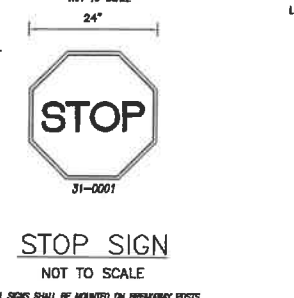
1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all slopes 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retilt compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 to October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mulch or organic mulch.

**DEVELOPMENT SCHEDULE/SEQUENCE OF OPERATIONS:**

1. Flag the limits of disturbance and schedule preconstruction meeting with Town of Killingly Zoning Officer.
2. Contact utility companies for scheduling installation of utilities and connections.
3. Cut trees and brush within the defined clearing limits and remove the cut wood.
4. Install perimeter erosion and sedimentation controls in accordance with the site development plan.
5. Chip brush and slash, stockpile chips for use on site or remove off site.
6. Remove tree stumps and dispose of it on approved disposal site. Alternatively, stumps may be chipped in place. No stumps shall be buried on site.
7. Strip and stockpile topsoil that is within the footprint of the site. Surround stockpile with all fence or stacked haybales, and apply temporary seeding in accordance with recommended mixtures. Divert runoff around the perimeter of the stockpile.
8. Make all required cuts and fills. Establish the subgrade for the driveway as required and install additional erosion controls as necessary and as shown on the plans.
9. Inspect perimeter erosion and sedimentation controls weekly and after rain events in excess of 0.5". Repair any damaged controls and provide additional erosion control devices as necessary to address areas of concentrated runoff that may develop as a result of the construction activities. The contractor shall review discharge conditions with the design engineer or the Town of Killingly prior to installing additional erosion controls. Apply water as necessary for dust control.
10. Install utilities to within 10' of proposed buildings.
11. Prepare for access drives and remainder of the site for final grading.
12. Excavate for building footings, stockpile soil and pour footings & slabs. Begin building construction.
13. Place topsoil where required and install any proposed landscaping upon completion of each building.
14. Install first course of pavement millings to each building as they are completed.
15. When the remainder of the site work is near completion, sweep all paved areas for the final course of paving. Inspect erosion controls and remove any accumulated sediment.
16. Install final course of pavement millings upon the completion of the final structure.
17. Fine grade, rake, seed and mulch to within 2' of the pavement millings.
18. Remove and dispose of all silt fence and hay bales after the site has been stabilized to the satisfaction of the Town of Killingly.

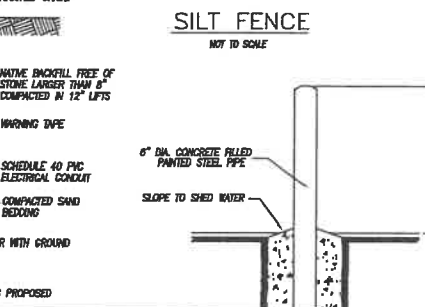
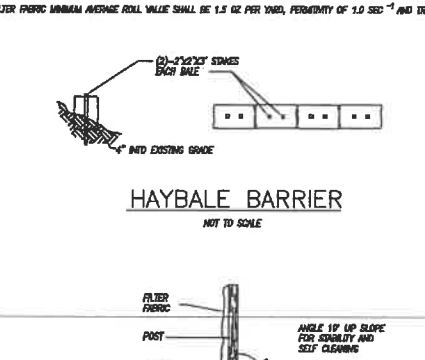
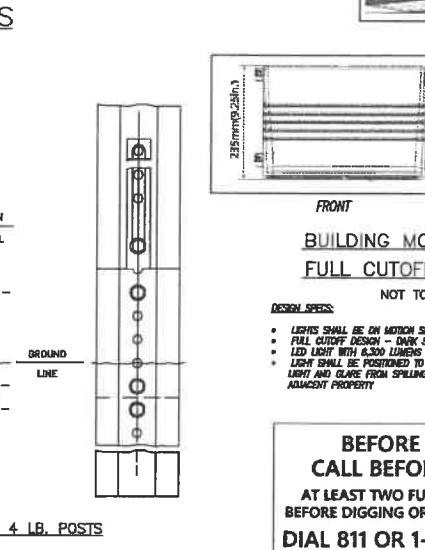
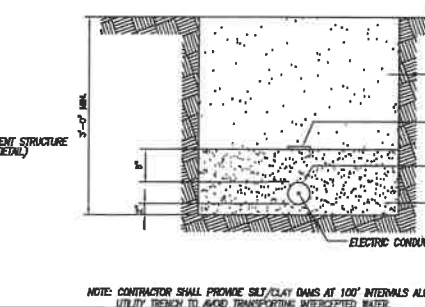
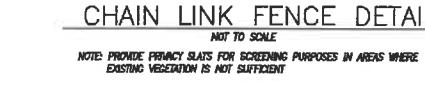
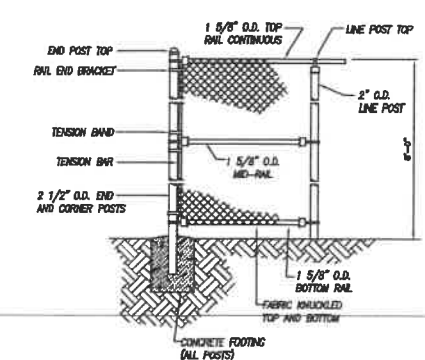
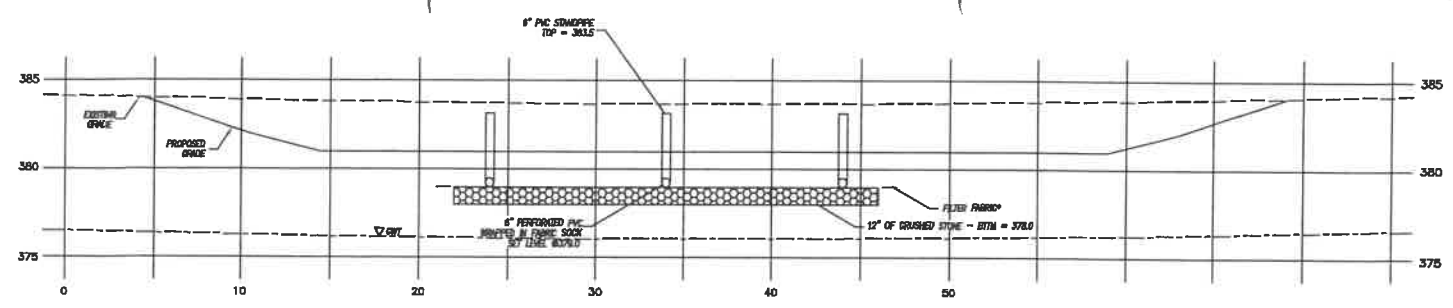
**RESPONSIBLE PARTY FOR E&S MAINTENANCE:**

Robert Liebscher  
American Storage Centers, LLC  
174 Cranberry Bog Road  
Danislon, CT 06241  
860-481-0108



**CONSTRUCTION NOTES/GENERAL PROVISIONS**

1. The locations of existing utilities are based upon visible field observations, record mapping and interviews with the property owner and existing property owners. They are to be shown for informational purposes only. Contractor shall coordinate exploratory test hole excavation with the Engineer if necessary to verify and/or determine actual locations of some utilities & structures. It is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1-800-922-4455, and obtain all applicable permits, prior to any excavation around utilities.
2. All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.
3. All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form B17", and supplements thereto.
4. The Contractor shall obtain copies of all regulatory agency permits from the Owner prior to any site disturbance.
5. Unless otherwise noted on the plans, the contractor shall use the geometry provided on the construction plans. Benchmark information shall be provided to the contractor by the Owner or the Owner's surveyor. Any discrepancies between field measurements and construction plan information shall be brought to the attention of the Engineer or Surveyor immediately.
6. The Contractor shall not revise elevations or locations of items shown on the plans without written consent of the project Engineer or Surveyor.
7. The Contractor shall protect benchmarks, property corners, and other survey monuments from damage or displacement. If a marker needs to be removed, it shall be referenced by a licensed land surveyor and replaced as necessary by the same.
8. The Contractor shall be responsible for preparing and compacting base for proposed pavement. Owner shall provide general fill to establish subgrade - contractor shall spread and compact. Contractor shall provide, spread and compact required processed aggregate.
9. The entire project site shall be thoroughly cleaned at the completion of the work. Clean all installed paved areas, accumulated silt and sediment, plus all adjacent areas affected by the construction activities as directed by the Owner or the Jurisdictional Agency.



**BEFORE YOU DIG  
CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

GRVEL SURFACE WITH PROCESSED TRAP ROCK DETAIL  
#22-1286

DATE	DESCRIPTION
03/17/2022	APPLICATION RE-SUBMITTAL
01/18/2022	FINAL PLAN REVIEW
01/03/2022	LANDSCAPE MODIFICATIONS
DATE	DESCRIPTION
	REVISIONS

DETAIL SHEET  
PREPARED FOR  
**AMERICAN STORAGE CENTERS, LLC**  
551 WESTCOTT ROAD (SR 607)  
KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 10/14/2021	DRAWN: AMR
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 4 OF 4	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 17157

**RECEIVED**  
MAR 17 2022  
PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY

NORMAN E. THIBEAULT, JR., P.E. DATE



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ARCHITECTURE & INTERIORS

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Tel: (203) 377-1300  
Fax: (203) 378-3002

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Stantec Consulting Services Inc.  
55 Church Street, Suite 801  
New Haven, CT  
Tel: 203-485-1843  
Fax: 203-485-1842

REVISIONS:  
DATE DESCRIPTION

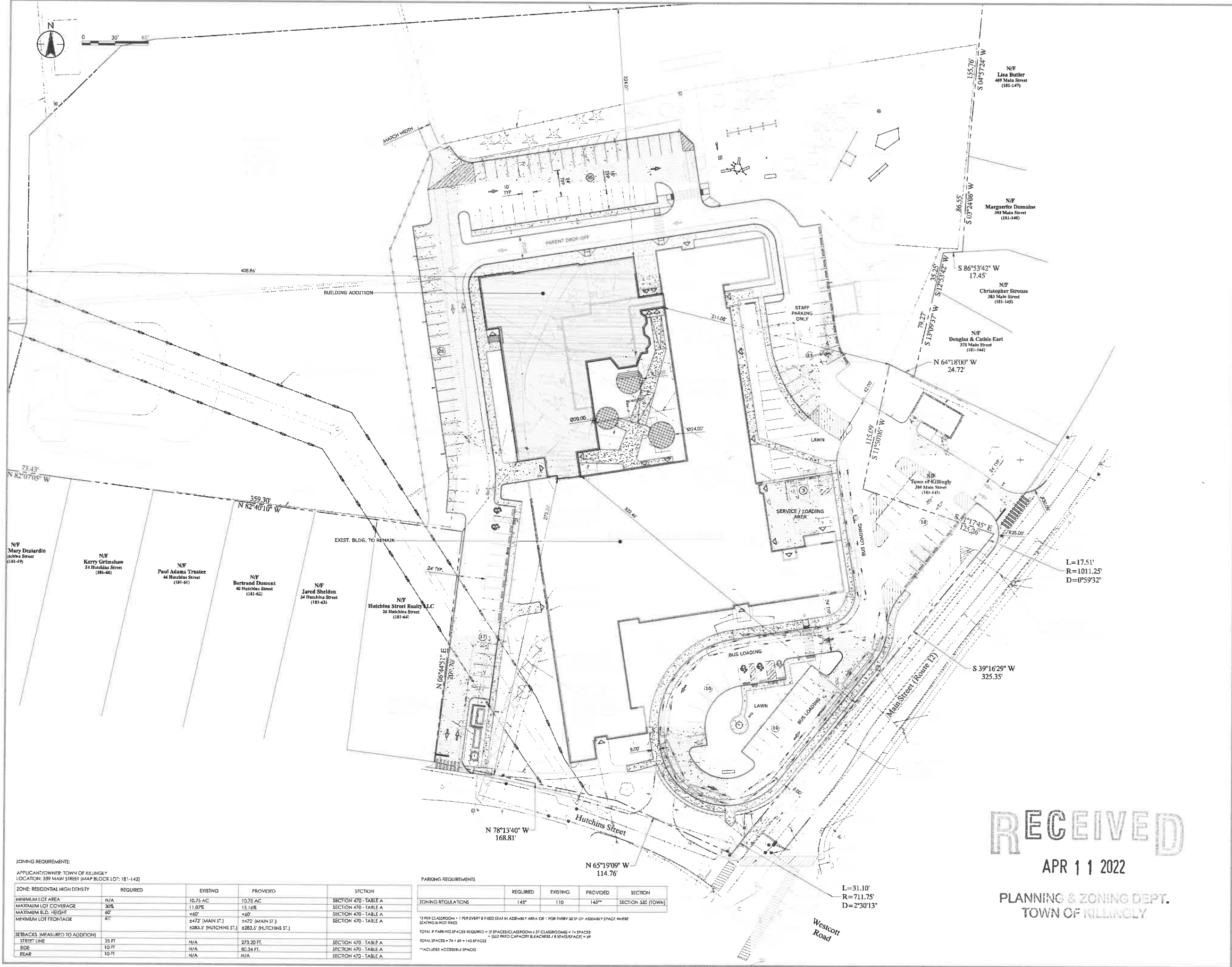
**KILLINGLY MEMORIAL SCHOOL  
EXPANSION AND RENOVATION**  
PHASE 2 OF 3  
339 MAIN STREET DANIELSON, CT 06239  
STATE PROJECT NO: 069-0069 RNY

DRIVING TITLE:  
SITE LAYOUT PLAN

SCALE: 1"=30'  
DRAWN BY: KRG  
REVIEWED BY: PIK

**C-103**

DATE: 28 MARCH 2022  
JOB NUMBER: 192310213



ZONING REQUIREMENTS:  
APPLICANT/OWNER: TOWN OF KILLINGLY  
LOCATION: 339 MAIN STREET (MAP BLOCK LOT: 181-142)

ZONE: RESIDENTIAL HIGH DENSITY	REQUIRED	EXISTING	PROVIDED	SECTION
MINIMUM LOT AREA	N/A	10.75 AC	10.75 AC	SECTION 470 - TABLE A
MAXIMUM LOT COVERAGE	30%	11.07%	15.16%	SECTION 470 - TABLE A
MAXIMUM BLD. HEIGHT	60'	<60'	<60'	SECTION 470 - TABLE A
MINIMUM LOT FRONTAGE	60'	247.2' (MAIN ST.)	247.2' (MAIN ST.)	SECTION 470 - TABLE A
		2283.5' (HUTCHINS ST.)	2283.5' (HUTCHINS ST.)	
SETBACKS (MEASURED TO ADDITION)				
STREET LINE	25 FT	N/A	273.20 FT.	SECTION 470 - TABLE A
SIDE	10 FT	N/A	80.34 FT.	SECTION 470 - TABLE A
REAR	10 FT	N/A	N/A	SECTION 470 - TABLE A

PARKING REQUIREMENTS	REQUIRED	EXISTING	PROVIDED	SECTION
ZONING REGULATIONS	143*	110	143**	SECTION 530 (TOWN)

\*2 PER CLASSROOM + 1 PER EVERY 8 FIXED SEAT IN ASSEMBLY AREA OR 1 FOR EVERY 50 SQ FT ASSEMBLY SPACE WHERE SEATING IS NOT FIXED  
 \*\*TOTAL # PARKING SPACES REQUIRED = (2 SPACES/CLASSROOM + 37 CLASSROOMS) + 73 SPACES  
 TOTAL SPACES = 74 + 69 = 143 SPACES  
 \*\*\*INCLUDES ACCESSIBLE SPACES

**RECEIVED**

APR 11 2022

PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY

L=31.10'  
R=711.75'  
D=2°30'13"

Westcott Road



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CONTRACT NO.:

CONSULTANT:

REVISIONS:

DATE DESCRIPTION

# KILLINGLY MEMORIAL SCHOOL EXPANSION AND RENOVATION

PHASE 2 OF 3

339 MAIN STREET DANIELSON, CT 06239  
STATE PROJECT NO.: 069-0069 RNY

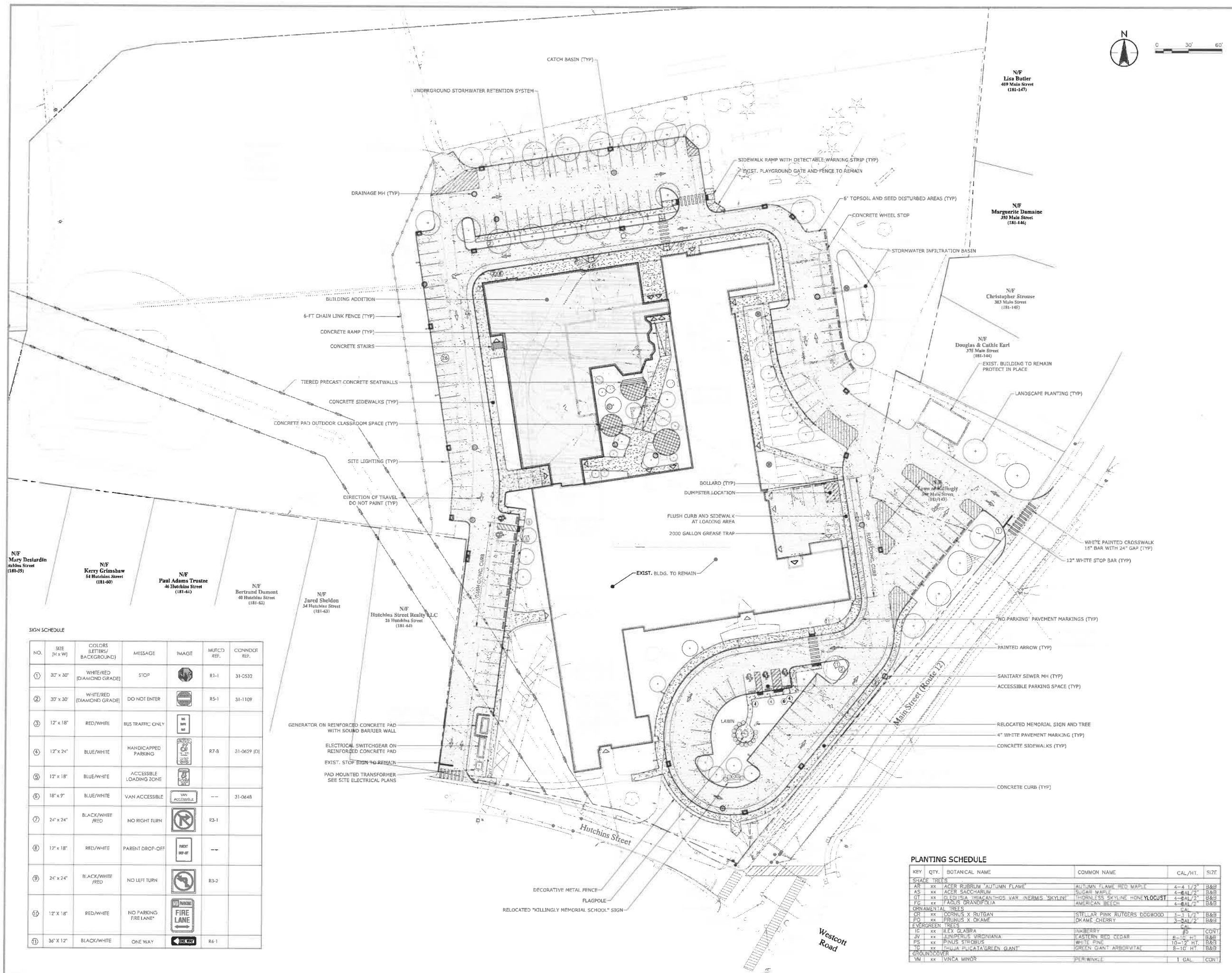
DRAWING TITLE:  
SITE MATERIALS PLAN

SCALE: 1"=30'  
DRAWN BY: KPG  
REVIEWED BY: PIK

DRAWING NO.:

## C-104

DATE: 28 MARCH 2022  
JOB NUMBER: 192310213



SIGN SCHEDULE

NO.	SIZE (H x W)	COLORS (LETTERS/BACKGROUND)	MESSAGE	IMAGE	MUFCD REF.	CONNDOT REF.
1	30" x 30"	WHITE/RED (DIAMOND GRADE)	STOP		R1-1	31-0532
2	30" x 30"	WHITE/RED (DIAMOND GRADE)	DO NOT ENTER		R5-1	31-1109
3	12" x 18"	RED/WHITE	BUS TRAFFIC ONLY			
4	12" x 24"	BLUE/WHITE	HANDICAPPED PARKING		R7-8	31-0629 (D)
5	12" x 18"	BLUE/WHITE	ACCESSIBLE LOADING ZONE			
6	18" x 9"	BLUE/WHITE	VAN ACCESSIBLE			31-0648
7	24" x 24"	BLACK/WHITE /RED	NO RIGHT TURN		R3-1	
8	12" x 18"	RED/WHITE	PARENT DROP-OFF			
9	24" x 24"	BLACK/WHITE /RED	NO LEFT TURN		R3-2	
10	12" x 18"	RED/WHITE	NO PARKING FIRE LANE			
11	36" x 12"	BLACK/WHITE	ONE WAY		R4-1	

PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL./HT.	SIZE
<b>SHADE TREES</b>					
AK	xx	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	4-4 1/2'	B&B
AS	xx	ACER SACCHARUM	SUGAR MAPLE	4-6'	B&B
GT	xx	QUERCUS TRIACANTHOS VAR. 'INERMIS SKYLINE'	THORNLESS SKYLINE HONEYLOCUST	4-6'	B&B
FC	xx	FAGUS GRANDIFOLIA	AMERICAN BEECH	4-6'	B&B
<b>ORNAMENTAL TREES</b>					
OR	xx	CORNUS X RUTGAN	STELLAR PINK RUTGERS DOGWOOD	1-1 1/2'	B&B
PO	xx	PRUNUS X OKAME	OKAME CHERRY	1-3'	B&B
<b>EVERGREEN TREES</b>					
IG	xx	ILEX GLABRA	HAWBERRY	#5	CONT
JV	xx	MINIFOLIUS VIRGINIANA	EASTERN RED CEDAR	#10-12'	B&B
PS	xx	PALM SYMBIOSIS	WHITE PALM	10-12'	B&B
IG	xx	THUNIA PLICATA GREEN GANT	GREEN GIANT ARBOREAL	8-10'	B&B
<b>GROUNDCOVER</b>					
VM	xx	VINCA MINOR	PERIWINKLE	1 GAL.	CONT



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CERTIFICATION



CONSULTANT:

REVISIONS

NO.	DATE	DESCRIPTION

**KILLINGLY MEMORIAL SCHOOL  
EXPANSION & RENOVATION**  
PHASE 2 OF 3  
339 MAIN STREET, DANIELSON, CT 06239  
STATE PROJECT NO.: 069-0069 RNW

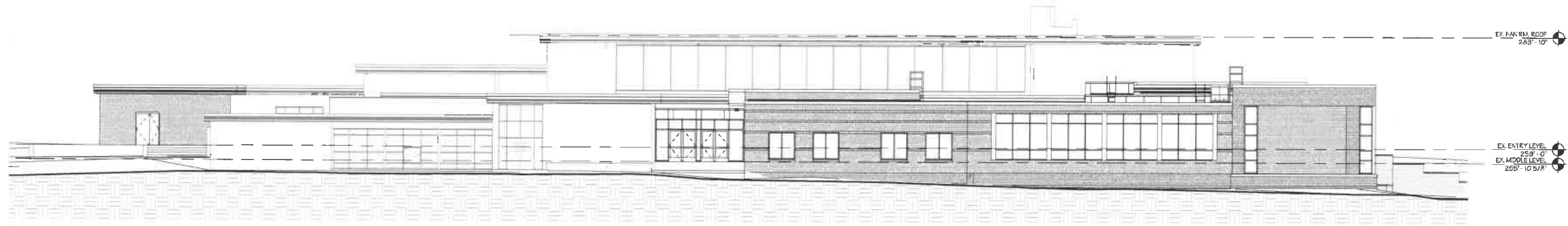
DRAWING TITLE:  
EXTERIOR ELEVATIONS - OVERALL

SCALE: 3/32" = 1'-0" DRAWN BY: KWG REVIEWED BY: DCF

DRAWING NO:

**A-300**

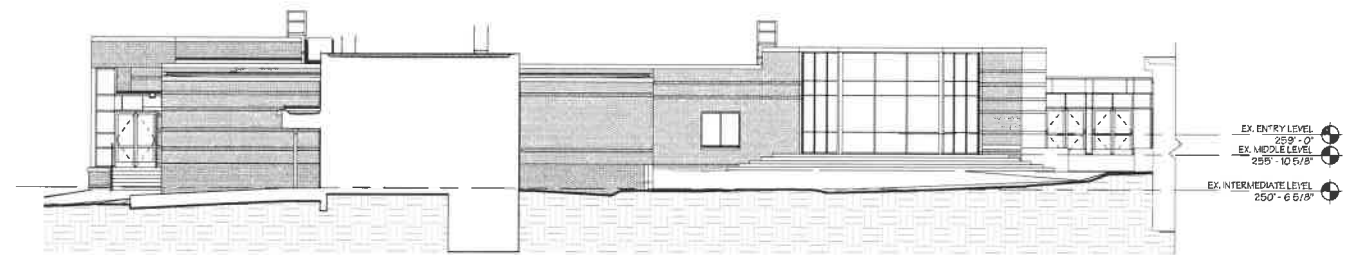
DATE: 28 MARCH 2022 JOB NUMBER: 21025



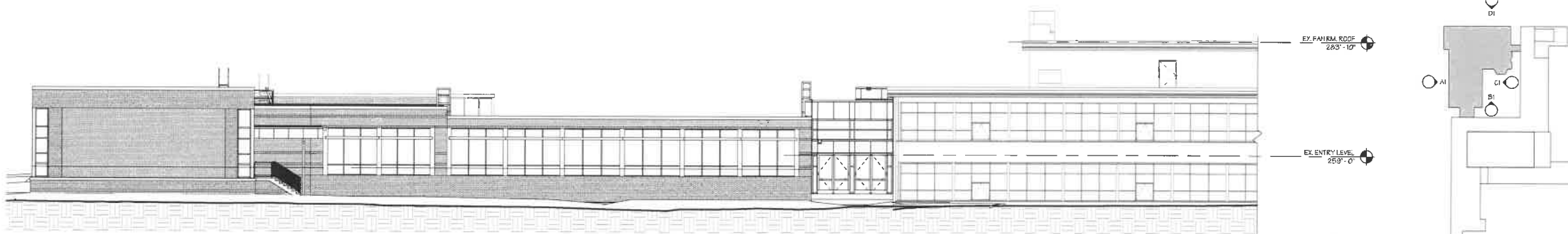
**D1** NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



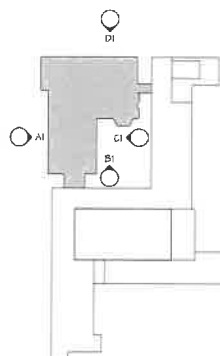
**C1** EAST ELEVATION  
SCALE: 3/32" = 1'-0"



**B1** SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



**A1** WEST ELEVATION  
SCALE: 3/32" = 1'-0"



ENTRY LEVEL KEY PLAN





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CERTIFICATION:



CONSULTANT:

REVISIONS

NO. DATE DESCRIPTION

NO.	DATE	DESCRIPTION

**KILLINGLY MEMORIAL SCHOOL  
EXPANSION & RENOVATION**  
PHASE 2 OF 3  
339 MAIN STREET, DANIELSON, CT 06239  
STATE PROJECT NO: 069-0069 RNV

DRAWING TITLE:  
BUILDING SECTIONS

SCALE: As indicated DRAWN BY: Author REVIEWED BY: Approver

DRAWING NO

**A-401**

DATE: 28 MARCH 2022 JOB NUMBER: 21025

