

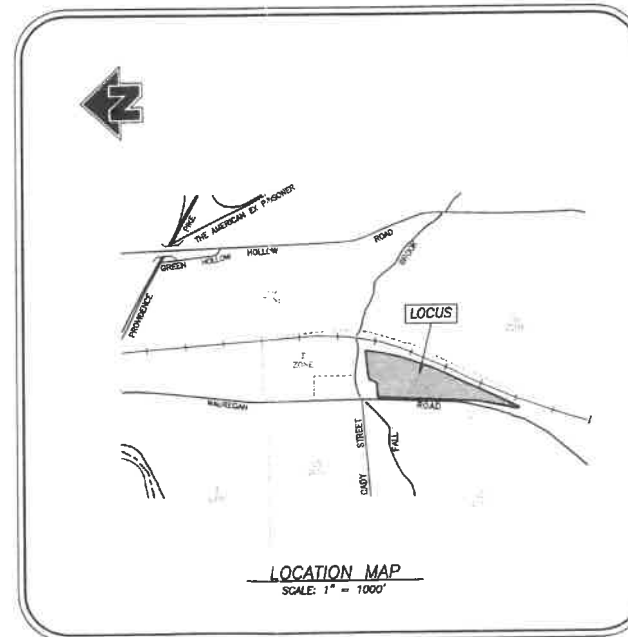
# PROPOSED GRAVEL EXCAVATION

120 WAUREGAN ROAD (ROUTE 12)  
KILLINGLY, CONNECTICUT

PREPARED FOR:  
**JOLLEY COMMONS, LLC.**

**LEGEND**

○	IRON PIN FOUND
□	CHD MONUMENT FOUND
□	CHD MONUMENT POINT
□	CATCH BASIN
+	SIGN
⊙	LIGHT POLE
⊙	GAS GATE
⊙	MANHOLE
⊙	SANITARY SEWER MANHOLE
⊙	BOLLARD
⊙	UTILITY POLE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	INLAND WETLANDS FLAG
---	BUILDING SETBACK LINE
---	METAL BEAM GUIDE RAIL
---	OVERHEAD WIRES
---	STONE WALL
---	STONE WALL REMAINS
---	SILT FENCE



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EXISTING CONDITIONS PLAN	2 OF 6
PHASE 1 EXCAVATION PLAN	3 OF 6
FINAL EXCAVATION PLAN	4 OF 6
SIGHTLINE DEMONSTRATION PLAN	5 OF 6
DETAIL SHEET	6 OF 6

RECEIVED

APR 18 2022

PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY

PREPARED BY:

REVISIONS	
DATE	DESCRIPTION
03/21/2022	PER CTDOT REVIEW
04/18/2022	PER & CTDOT REVIEW

**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

December 2021

APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION

Special Permit No: \_\_\_\_\_

Applicant: \_\_\_\_\_

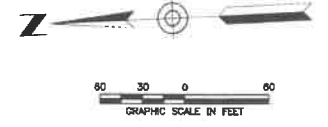
Date Approved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Date: \_\_\_\_\_

NORMAN THIBEAULT, JR., P.E. No. 22834 DATE

LINE DATA	
L1	N 02°33'18" E 22±
L2	N 32°52'48" W 20.22'
L3	N 68°46'22" E 220.84'
L4	S 83°18'06" W 200.36'

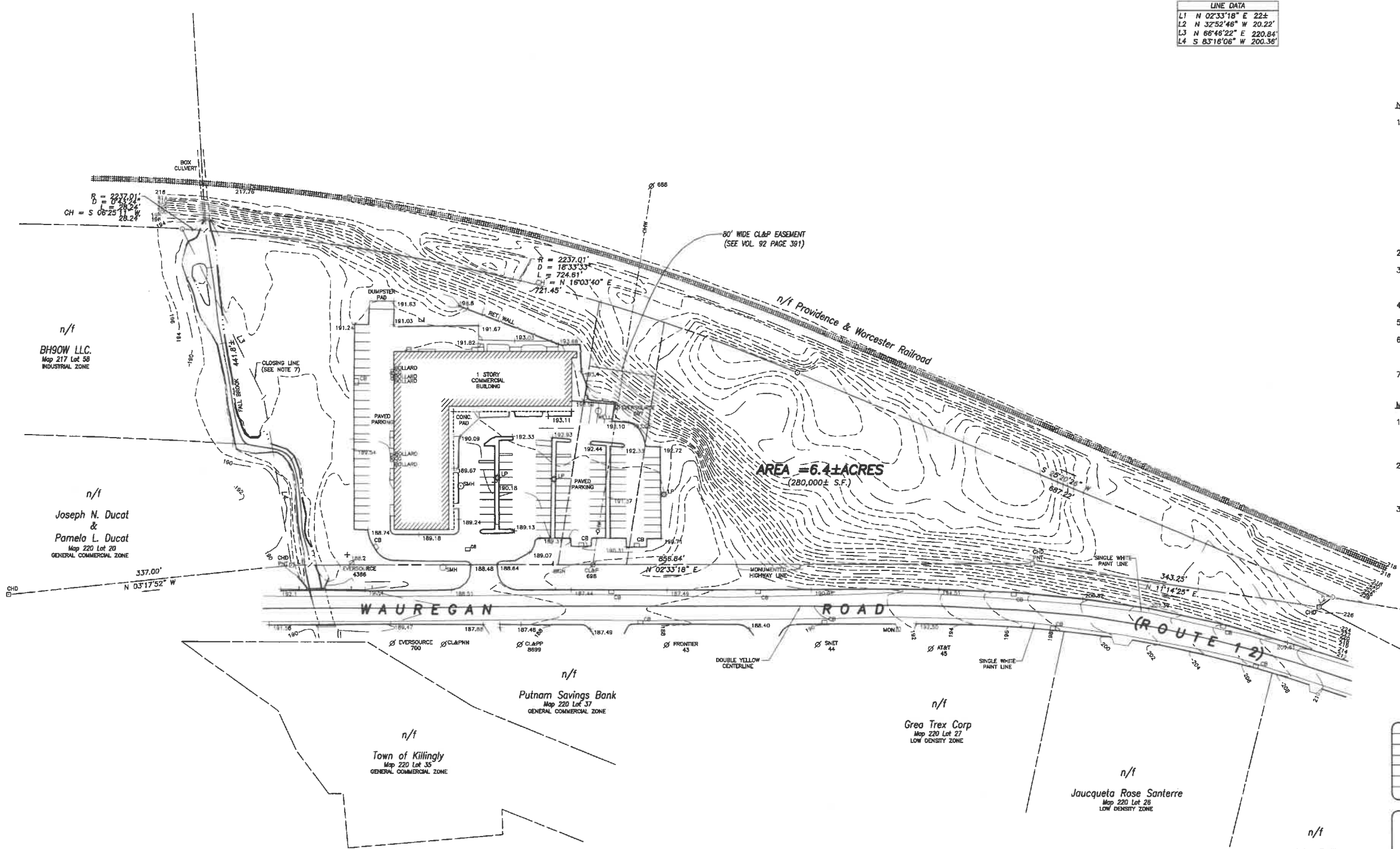


**NOTES:**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
  - Survey Type: Improvement Location Survey.
  - Boundary Determination Category: Dependent Resurvey.
- Zone = GC.
- Owner of record: Jolley Commons, LLC  
524 Wauregan Road Brooklyn, Connecticut  
See Volume 863, Page 180
- Existing Parcel predates zoning.
- Parcel is shown as Lot #21 on Assessors Map #220.
- Elevations shown are based on an NAVD 88 Datum. Contours taken from Killingly GIS and supplemented with actual field survey. Contour interval = 2'.
- A closing line is a random line used for technical purposes. It is not to be construed as a boundary line.

**MAP REFERENCE:**

- "Subdivision plan - Michael J. Cristofa - Route 12 - Killingly, Connecticut - Scale: 1" = 100' - Date: April 30, 1988 - Prepared by Kishko Woodis & Pita Land Surveyors - Killingly, Connecticut" On file in the Killingly Land Records as Map #HF20A
- "Site development plan - Wayne L. Jolley & Leslie A. Jolley - Route 12 - Killingly, Connecticut - Scale: 1" = 60' - Date: August 3, 1989 - Prepared by KWP Associates - Killingly, Connecticut" On file in the Killingly Land Records as Map #S-115
- "Town of Killingly - Map Showing Land Released to - Wayne L. Jolley - By State of Connecticut - Conn. Route 12 - Scale: 1" = 40' - Date: October 1992 - Prepared by James F. Byrnes" On file in the Killingly Land Records as Map #HF206B



**LEGEND**

- IRON PIN FOUND
- ⊙ DRILL HOLE FOUND
- ⊠ CHD MONUMENT FOUND
- ⊡ CHD MONUMENT POINT
- I SIGN
- ⊙ LP LIGHT POLE
- ⊙ UTILITY POLE
- BOLLARD
- GG GAS GATE
- ⊠ CB CATCH BASIN
- ⊠ MH MANHOLE
- ⊠ SMH SANITARY SEWER MANHOLE
- ⊠ TH TEST HOLE
- - - - - EXISTING CONTOURS
- ⊠ BUILDING SETBACK LINE

APPROVED BY THE TOWN OF KILLINGLY PLANNING AND ZONING COMMISSION

Special Permit No: \_\_\_\_\_

Applicant: \_\_\_\_\_

Date Approved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Date: \_\_\_\_\_

DATE	DESCRIPTION
04/18/2022	PER TOWN REVIEW & CTDOT APPROVAL
03/21/2022	PER CTDOT REVIEW

IMPROVEMENT LOCATION SURVEY  
EXISTING CONDITIONS PLAN  
PREPARED FOR  
**JOLLEY COMMONS, LLC**  
120 WAUREGAN ROAD  
KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 411  
Killingly, Connecticut 06241  
(860) 779-7299  
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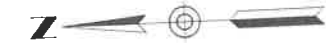
DATE: 12/21/2021	DRAWN: RGS
SCALE: 1" = 60'	DESIGN: ---
SHEET: 2 OF 6	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21070

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

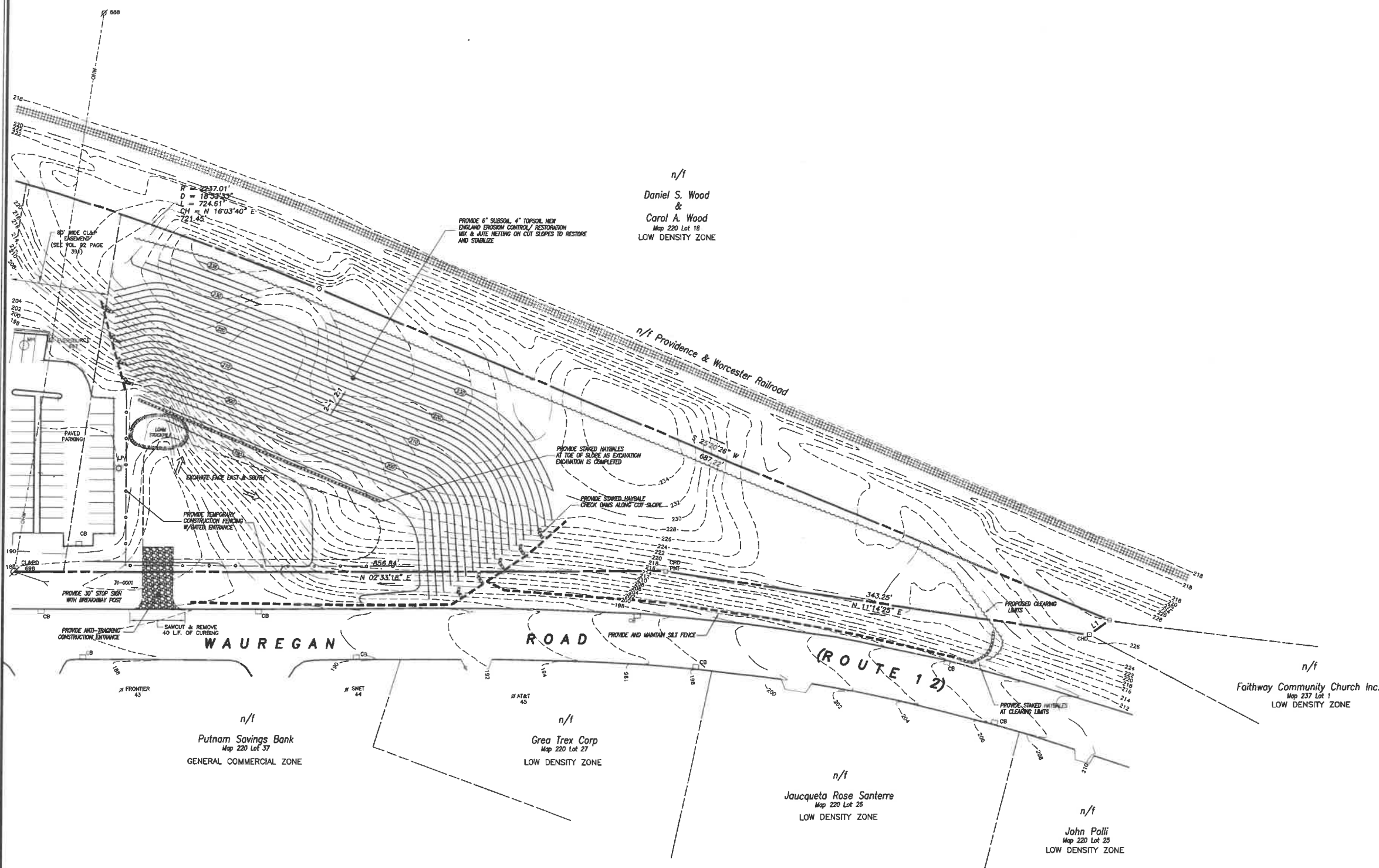
GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE \_\_\_\_\_

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

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LINE DATA	
L1	N 02°33'18" E 22±



n/f  
Daniel S. Wood  
&  
Carol A. Wood  
Map 220 Lot 18  
LOW DENSITY ZONE

n/f  
Faithway Community Church Inc.  
Map 237 Lot 1  
LOW DENSITY ZONE

n/f  
Putnam Savings Bank  
Map 220 Lot 37  
GENERAL COMMERCIAL ZONE

n/f  
Grea Trex Corp  
Map 220 Lot 27  
LOW DENSITY ZONE

n/f  
Jaucqueta Rose Santerre  
Map 220 Lot 26  
LOW DENSITY ZONE

n/f  
John Palli  
Map 220 Lot 25  
LOW DENSITY ZONE

DATE	DESCRIPTION
04/18/2022	PER TOWN REVIEW & CTDOT APPROVAL
03/21/2022	PER CTDOT REVIEW
	REVISIONS

IMPROVEMENT LOCATION SURVEY  
PHASE 1 EXCAVATION PLAN  
PREPARED FOR  
**JOLLEY COMMONS, LLC**  
120 WAUREGAN ROAD  
KILLINGLY, CONNECTICUT

<b>Killingly Engineering Associates</b> Civil Engineering & Surveying	
114 Walnut Road P.O. Box 421 Killingly, Connecticut 06241 (860) 779-7299 www.killinglyengineering.com	
DATE: 12/21/2021	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 3 OF 6	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21070

APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION

Special Permit No: \_\_\_\_\_

Applicant: \_\_\_\_\_

Date Approved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Date: \_\_\_\_\_

NORMAND E. THIBEAULT, JR., P.E. DATE  
LIC #PEN 0022834

K:\21070\Wauregan\04\_21070 PHASE 1 PLAN.dwg Apr 18, 2022 - 2:47 PM

Volumes by Triangulation (Prisma)  
 Existing Surface: K:\21070\Drawings\existing grade.tin  
 Final Surface: K:\21070\Drawings\PROPOSED GRADE.tin

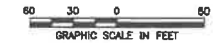
Cut volume: 1,856,952.2 C.F., 68,776.01 C.Y.  
 Fill volume: 86,203.1 C.F., 3,192.71 C.Y.  
 Net Cut Volume: 1,770,749.1 C.F., 65,583.3 C.Y.

Area in Cut : 87,885.7 S.F., 2.25 Acres  
 Area in Fill: 13,716.2 S.F., 0.31 Acres  
 Total Inclusion area: 111,612.6 S.F., 2.56 Acres

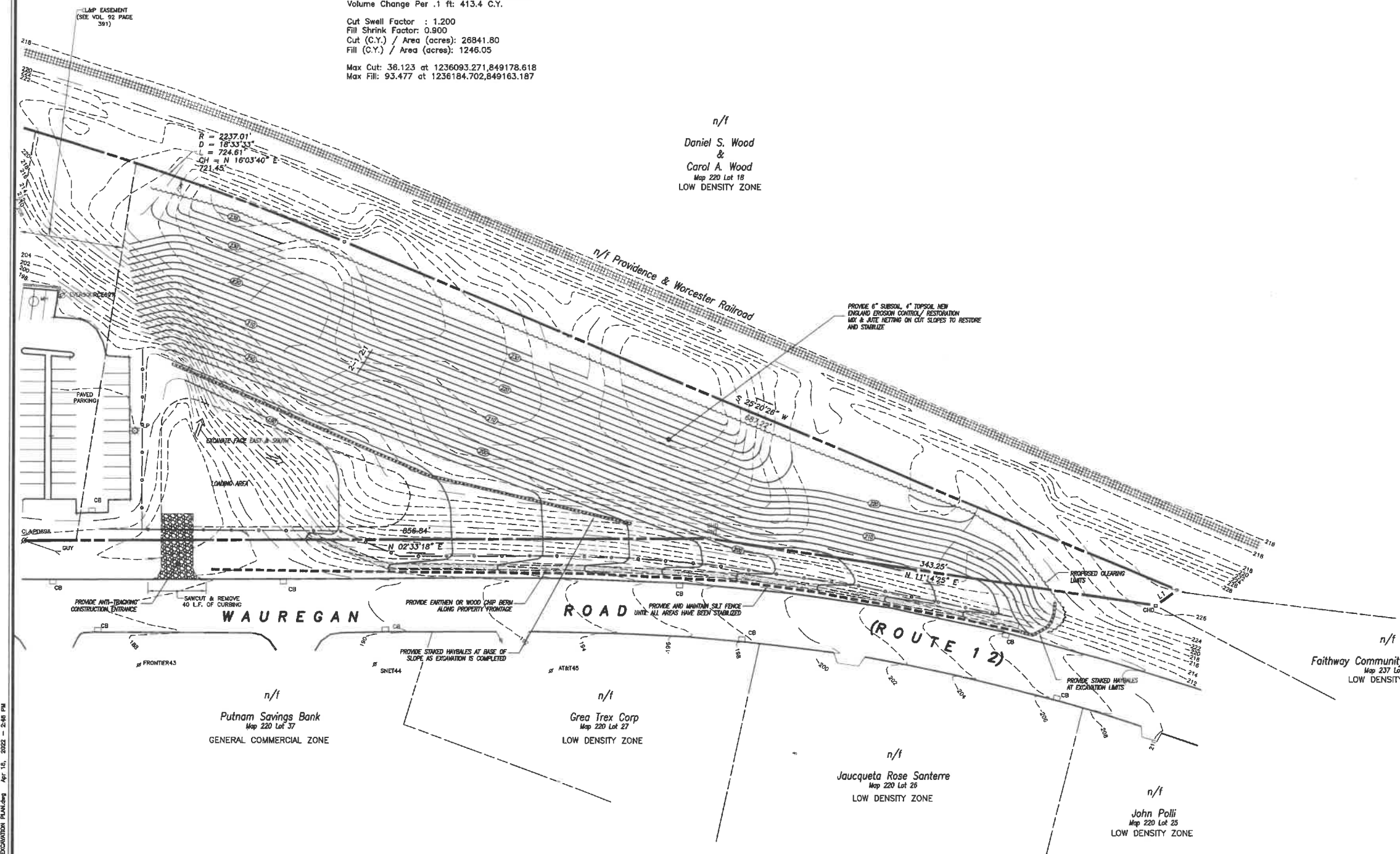
Average Cut Depth: 15.81 feet  
 Average Fill Depth: 6.98 feet  
 Cut to Fill ratio: 21.54  
 Export Volume: 65,583.3 C.Y.  
 Elevation Change to Reach Balance: 15.865  
 Volume Change Per .1 ft: 413.4 C.Y.

Cut Swell Factor : 1.200  
 Fill Shrink Factor: 0.900  
 Cut (C.Y.) / Area (acres): 26841.80  
 Fill (C.Y.) / Area (acres): 1246.05

Max Cut: 36.123 at 1236093.271,849178.618  
 Max Fill: 93.477 at 1236184.702,849163.187



LINE DATA	
L1	N 02°33'18" E 22±



n/f  
 Daniel S. Wood  
 &  
 Carol A. Wood  
 Map 220 Lot 18  
 LOW DENSITY ZONE

n/f  
 Faithway Community Church Inc.  
 Map 237 Lot 1  
 LOW DENSITY ZONE

n/f  
 Putnam Savings Bank  
 Map 220 Lot 37  
 GENERAL COMMERCIAL ZONE

n/f  
 Grea Trex Corp  
 Map 220 Lot 27  
 LOW DENSITY ZONE

n/f  
 Jaucqueta Rose Santerre  
 Map 220 Lot 25  
 LOW DENSITY ZONE

n/f  
 John Polli  
 Map 220 Lot 25  
 LOW DENSITY ZONE

DATE	DESCRIPTION
04/18/2022	PER TOWN REVIEW & CTDOT APPROVAL
03/21/2022	PER CTDOT REVIEW

IMPROVEMENT LOCATION SURVEY  
 FINAL EXCAVATION PLAN  
 PREPARED FOR  
**JOLLEY COMMONS, LLC**  
 120 WAUREGAN ROAD  
 KILLINGLY, CONNECTICUT

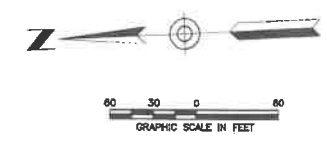
**Killingly Engineering Associates**  
 Civil Engineering & Surveying  
 114 Watcott Road  
 P.O. Box 421  
 Killingly, Connecticut 06241  
 (860) 775-7299  
 www.killinglyengineering.com

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SCALE: 1" = 40'	DESIGN: NET
SHEET: 4 OF 6	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21070

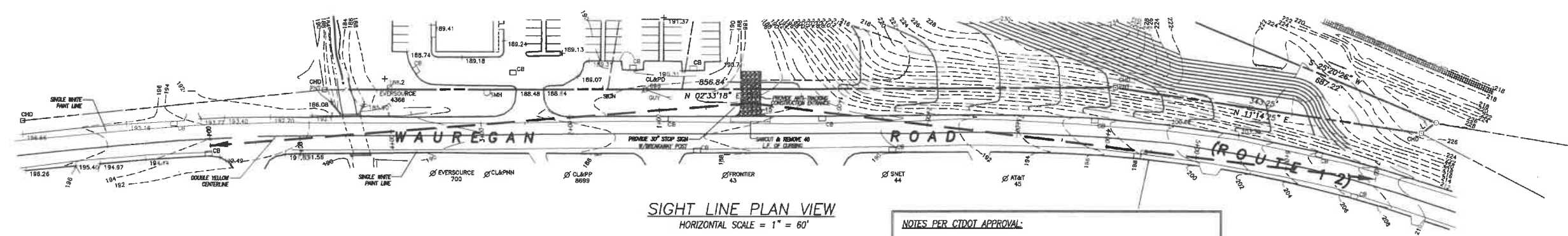
NORMAND E. THIBEAULT, JR., P.E. DATE  
 LIC #PEN 0022834

APPROVED BY THE TOWN OF  
 KILLINGLY PLANNING AND ZONING COMMISSION  
 Special Permit No: \_\_\_\_\_  
 Applicant: \_\_\_\_\_  
 Date Approved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Date: \_\_\_\_\_

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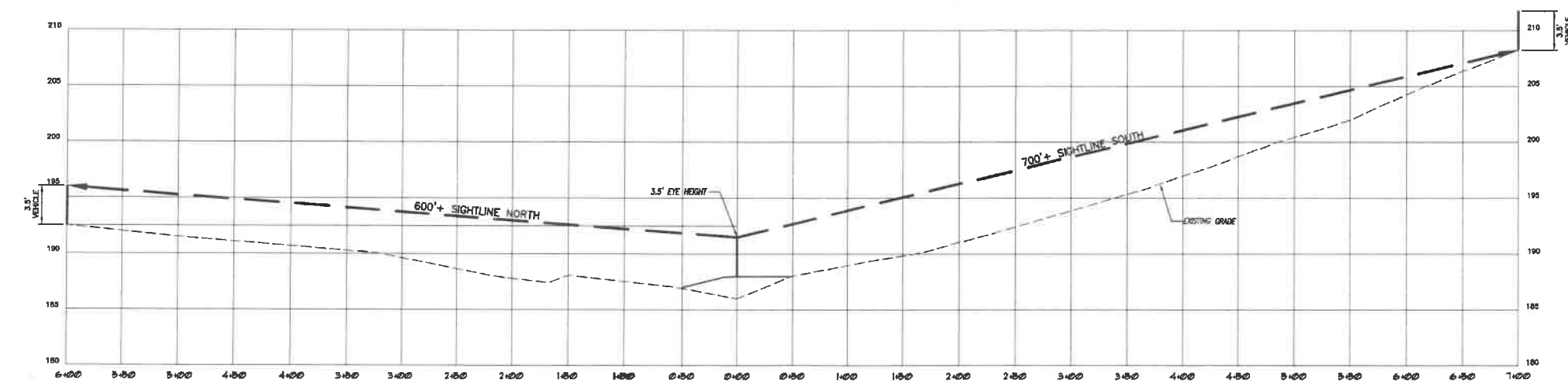


LINE DATA	
L1	N 02°33'18" E 22±

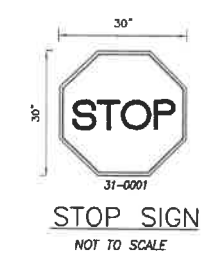


**SIGHT LINE PLAN VIEW**  
HORIZONTAL SCALE = 1" = 60'

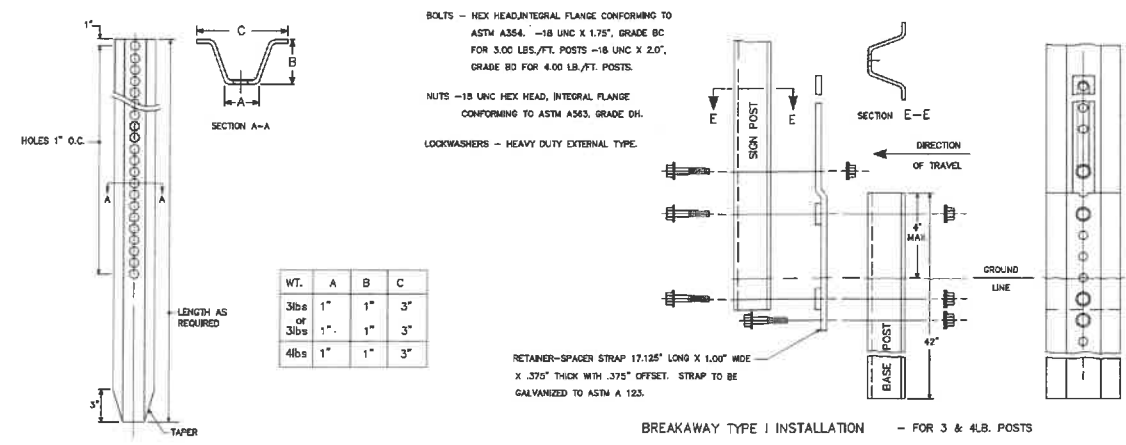
- NOTES PER CTDOT APPROVAL:**
1. AT THE COMPLETION OF THE PROJECT, TEMPORARY ACCESS SHALL BE REMOVED, CURBING REPLACED & DISTURBED AREA SHALL BE RESTORED.
  2. ANY FUTURE DEVELOPMENT OF THE SITE SHALL REQUIRE REVIEW BY CTDOT.



**SIGHT LINE PROFILE**  
HORIZONTAL SCALE = 1" = 60'  
VERTICAL SCALE: 1" = 6'



**STOP SIGN**  
NOT TO SCALE



**TYPICAL METAL SIGN POSTS**  
NOT TO SCALE

04/18/2022	PER TOWN REVIEW & CTDOT APPROVAL
03/21/2022	PER CTDOT REVIEW
DATE	DESCRIPTION
	REVISIONS

**SIGHTLINE DEMONSTRATION PLAN**  
PREPARED FOR  
**JOLLEY COMMONS, LLC**  
120 WAUREGAN ROAD  
KILLINGLY, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
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(860) 779-7299  
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DATE: 12/21/2021	DRAWN: NET
SCALE: 1" = 60'	DESIGN: NET
SHEET: 5 OF 6	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21070

APPROVED BY THE TOWN OF  
KILLINGLY PLANNING AND ZONING COMMISSION  
Special Permit No: \_\_\_\_\_  
Applicant: \_\_\_\_\_  
Date Approved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Date: \_\_\_\_\_

NORMAND E. THIBEAULT, JR., P.E. DATE  
LIC #PEN 0022834

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**EROSION AND SEDIMENT CONTROL PLAN:**

**REFERENCE IS MADE TO:**

1. USDA-NRCS Web Soil Survey
2. Soil Survey of New London County Connecticut, U.S.D.A. Soil Conservation Service 1983.

**SOILS:**

The proposed site is comprised mainly of two soil types; Hincley "Hic" and Windsor Loamy Sand "Ww". Hic-Hincley gravely sandy loam, 3 to 15 percent slopes. This is a gently sloping to sloping, excessively drained soil on terraces of stream valleys and on glacial outwash plains. The areas of this soil are oval or irregular in shape and range from 5 to 200 acres. Slopes are convex or undulating and are mostly less than 20% long. Ww-Windsor Loamy Sand, 0 to 3% slopes. This nearly level excessively drained soil is on stream terraces and outwash plains. Mapped areas are dominantly irregular in shape and mostly 2 to 20 acres in area.

**DEVELOPMENT SCHEDULE:**

1. Prior to any work on site, the limits of operations shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install anti tracking surface.
4. Install and maintain erosion and sedimentation controls throughout operations.
5. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.

**SPILL PREVENTION:**

The Owner shall prevent any and other hazardous substances from spilling on the ground, leaching into the soil or migrating into wetlands or water bodies.

1. All fueling shall take place within the designated fueling area as shown on the plans, adjacent to the site entrance and within the construction staging area. All fueling and minor maintenance shall be confined to this area. Major equipment repairs shall be conducted off site.
2. If required, temporary fuel tanks shall be located at the designated fueling area. Manufactured double walled storage tanks shall be installed, operated and maintained per the manufacturer's written recommendations. Single walled temporary tanks shall only be utilized if 100% spillage containment is provided. In the event of fuel spillage, the operator shall immediately remove the tank, contain the spillage and contact the CTDOP 24-hour Emergency Spill Response line at 1-866-337-7745.
3. Fuel trucks entering the site shall proceed directly to the designated fueling area prior to dispersing any fuel products.
4. An emergency spill kit shall be located at the designated fueling area and shall consist of absorbents, sand bags or earth material for use in controlling spills or leaks. Spilled materials and/or contaminated soils shall be excavated, stored in leak-proof containers and from the site for disposal in accordance with all applicable local, state and federal hazardous waste regulations.

1. Development of the site will be performed by the applicant, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout operations.
2. Final stabilization of the site to follow the procedures outlined in "Permanent Vegetative Cover", if necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

**SILT FENCE INSTALLATION AND MAINTENANCE:**

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

**HAY BALE INSTALLATION AND MAINTENANCE:**

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the inland wetlands commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

**TEMPORARY VEGETATIVE COVER:**

**SEED SELECTION**  
Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

**TIMING CONSIDERATIONS**

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

**RECOMMENDED TEMPORARY SEED MIXTURES:**

No.	Seed Mixture (Variety)	Lbs./acre	Lbs./Sq. Ft.
**26	Setchgrass (Blackwell, Shellar, Cove-in-rock)	4.0	0.10
	Big Bluestem (Niagra, Kaw)	4.0	0.10
	Little Bluestem (Blaze, Aldous, Camper)	2.0	0.05
	Sand Lovegrass (NE-27, Bend)	1.5	0.03
	Bird's-foot Trefail (Empire, Viking)	2.0	0.05
**27	Flatspea (Lathoo)	10	0.20
	Perennial Pea (Lanow)	2.0	0.05
	Crown Vetch (Charming, Penngrit)	10	0.20
	Tall Fescue (Kentucky 31)	2.0	0.05
**28	Onchardgrass (Penstalle, Kay, Potomac)	5.0	0.10
	Tall Fescue (Kentucky 31)	10	0.20
	Redtop (Streeter, Common)	2.0	0.05
	Bird's-foot Trefail (Empire, Viking)	5.0	0.10

\* Considered to be a cool season mix  
\*\* Considered to be a warm season mix

**SEEDING PREPARATION**

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently tilled or disturbed, no further roughening is required. Soil preparation can be accomplished by tilling with a bulldozer, chain harrow, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment treading back and forth over the surface. If the slope is to be seeded, the chain link fence should be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable areas, or where testing is critical, fertilizer may be applied at the rate of 200 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

**SEEDING**

Apply seed uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

**MULCHING**

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

**MAINTENANCE**

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and fill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

**PERMANENT VEGETATIVE COVER:**

Seed mix for slope restoration shall be used, minimum \$26, \$27 or \$28 as described in the 2002 Guidelines and Sediment Control and as described on this sheet, applied at the recommended rates. In general, the following sequence of operations shall apply:

1. No topsoil or subsoil shall be removed from the site. All topsoil and subsoil shall be stockpiled and stabilized in accordance with measures outlined in "Temporary Vegetative Cover".
2. A minimum of 4" of subsoil and 4" of topsoil shall be spread and compacted on final slopes. Once the topsoil has been spread, all stones 3" or larger in any dimension will be removed as well as debris.
3. Apply agricultural grade limestone at a rate of 2 tons per acre or 100 lbs. per 1000 sq. ft. Apply 10-10-10 fertilizer at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 sq. ft. Work lime and fertilizer into the soil to a minimum soil depth of 4".
4. Inspect seeded before seeding. If traffic has compacted the soil, retil compacted areas.
5. Apply the recommended grass seed mix. The recommended seeding dates are: April 1 to June 15 in August 15 - October.
6. Following seeding, firm seedbed. Seeded slopes shall be stabilized with turf reinforcement matting, soaked in place per recommendations of the manufacturer and as shown on the detail. This sheet.
7. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting or organic mulch.
8. Slopes shall be inspected weekly and after all rain events of 0.5" or greater. Disturbed or damaged slopes shall be repaired immediately.

**EROSION AND SEDIMENT CONTROL NARRATIVE:**

**PRINCIPLES OF EROSION AND SEDIMENT CONTROL:**

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

**KEEP LAND DISTURBANCE TO A MINIMUM**

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

**SLOW THE FLOW**

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
  - Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.
- KEEP CLEAN RUNOFF SEPARATED**
- Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.
- Segregate construction waters from clean water.
  - Divert all runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

**REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS**

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

**EXCAVATION NOTES:**

- EXCAVATION QUANTITIES:** SEE SHEET J
- HOURS OF OPERATION:** 7:00 am - 8:00 pm Monday - Friday  
8:00 am - 12:00 pm Saturday  
There shall be no excavation activities on Sundays and the following holidays: Christmas, New Year's Day, Memorial Day.
- DUST CONTROL:** Dust control shall be accomplished with periodic watering. Other measures, if deemed should be reviewed and approved by the Town of Killingly.
- TRUCK TRIPS:** Two trucks will be utilized to transport earth materials from the site. It is anticipated that 4-6 truck loads per hour will travel to and from the site.
- GENERAL NOTES:**
1. There shall be no storage of fuel on site nor shall there be vehicle or machinery washing or major repairs done on site.
  2. Excavation shall generally be completed utilizing a dewatering method on the excavation face to maintain a self-contained active excavation and prevent the migration of stormwater and sediment from the active excavation area.
  3. The access drive to the point of excavation shall be maintained in a stable condition. Additional clean gravel, pavement millings or stone aggregate shall be installed as necessary.
  4. The maximum permitted finish grade slope of excavated areas shall be 2.5H:1V for stone or straw erosion control unless otherwise specified. If necessary - North American Green SO-150 or engineer approved equivalent.
  5. Prior to any excavation, contact CALL BEFORE YOU DIG at 1-800-922-4455 to determine the location of any underground utilities.

1. No topsoil or subsoil shall be removed from the site. All topsoil and subsoil shall be stockpiled and stabilized in accordance with measures outlined in "Temporary Vegetative Cover".
2. A minimum of 4" of subsoil and 4" of topsoil shall be spread and compacted on final slopes. Once the topsoil has been spread, all stones 3" or larger in any dimension will be removed as well as debris.
3. Apply agricultural grade limestone at a rate of 2 tons per acre or 100 lbs. per 1000 sq. ft. Apply 10-10-10 fertilizer at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 sq. ft. Work lime and fertilizer into the soil to a minimum soil depth of 4".
4. Inspect seeded before seeding. If traffic has compacted the soil, retil compacted areas.
5. Apply the recommended grass seed mix. The recommended seeding dates are: April 1 to June 15 in August 15 - October.
6. Following seeding, firm seedbed. Seeded slopes shall be stabilized with turf reinforcement matting, soaked in place per recommendations of the manufacturer and as shown on the detail. This sheet.
7. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting or organic mulch.
8. Slopes shall be inspected weekly and after all rain events of 0.5" or greater. Disturbed or damaged slopes shall be repaired immediately.

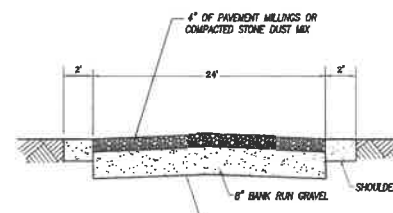
1. Prior to any activity on site, the contractor shall flag the limits of clearing and schedule a pre-construction meeting with the Town of Killingly Zoning Official.
2. Cut trees within the clearing limit and remove wood from the site. Install perimeter erosion and sedimentation controls, branches/brush may be chipped and utilized as berms for E&S.
3. Install anti-tracking construction entrance.
4. Excavate all stumps located in the work area and remove to a disposal site or stockpile to be shipped for use on site. The State of Connecticut does not allow for burying of stumps on site.
5. Construct access driveway and apply a gravel or pavement millings wearing surface.
6. Strip and stockpile topsoil and subsoil. Utilize topsoil excavated as work commences shall be removed from site to create a work area. Note: sufficient subsoil and topsoil shall be reserved to provide a minimum of 6" of subsoil and 4" of topsoil to establish vegetation for finished grades.
7. Begin excavation to remove gravel materials.
8. Inspect perimeter erosion and sedimentation controls weekly and after rain events greater than 1/2". Repair erosion controls as required after inspections. Additional erosion and sedimentation controls such as diversions may be installed per direction of the Owner's engineer if site conditions require.
9. When excavation and grading have been completed, apply subsoil, topsoil and seed to re-vegetate slopes. Establishment of vegetation may be conducted systematically as excavation progresses south. Apply lime netting over seeded areas.
10. When site has been stabilized, remove all perimeter erosion and sedimentation controls. Wood chips or soil berms may be left in place permanently if desired.

**New England Erosion Control/Restoration Mix (Final Seeding)**

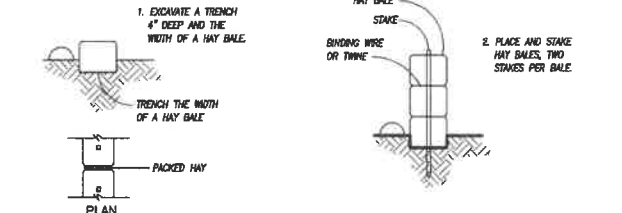
The New England Erosion Control/Restoration Mix For Dry Sites provides an appropriate selection of native and naturalized grasses to ensure that dry and recently disturbed sites will be quickly revegetated and the soil surface stabilized. It is an appropriate seed mix for road cuts, pipelines, steeper slopes, and areas requiring quick cover during the ecological restoration process. The mix may be applied by hand, cyclone seeder, or mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper soil-seed contact. Best results are obtained with a Spring or late Summer seeding. Late Spring through Mid-Summer seeding will benefit from a light mulching of weed-free straw to conserve moisture. If conditions are drier than usual, watering will be required. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free seed bed is necessary for optimal results.

**APPLICATION RATE:** 35 lb/acre | 1250 sq ft/lb

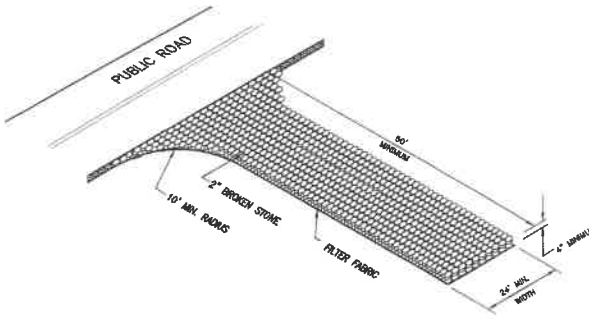
**SPECIES:** Creeping Red Fescue, (Festuca rubra), Canada Wild Rye, (Elymus canadensis), Annual Ryegrass, (Lolium multiflorum), Perennial Ryegrass, (Lolium perenne), Blue Grama, (Bouteloua gracilis), Little Bluestem, (Schizachyrium scoparium), Indian Grass, (Sorghastrum nutans), Rough Bentgrass, (Agrostis scabra), Upland Bentgrass, (Agrostis perennans).



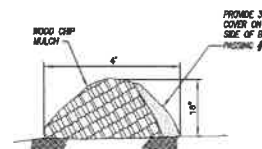
**GRAVEL DRIVE WITH DOT #3 STONE DETAIL**  
NOT TO SCALE



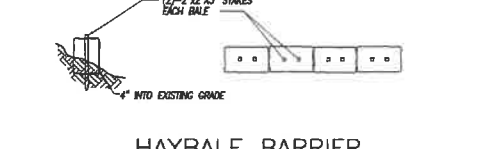
**HAYBALE CHECK DAM**  
NOT TO SCALE



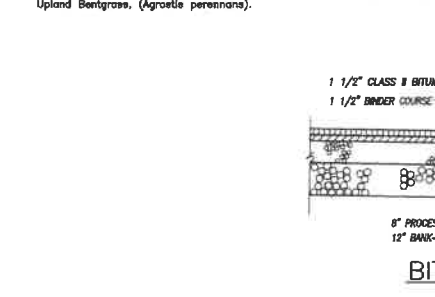
**ANTI-TRACKING PAD**  
NOT TO SCALE



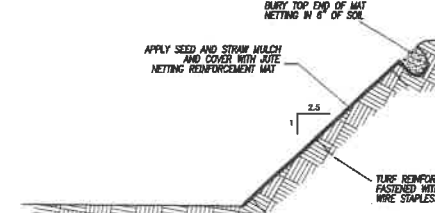
**WOOD CHIP FILTER BERM**  
NOT TO SCALE



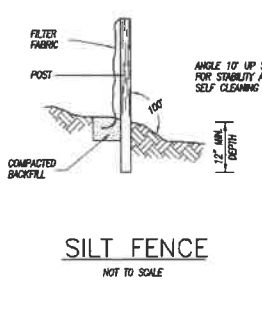
**HAYBALE BARRIER**  
NOT TO SCALE



**BITUMINOUS CONCRETE LIP CURBING**  
NOT TO SCALE



**SLOPE STABILIZATION DETAIL**  
NOT TO SCALE



**SILT FENCE**  
NOT TO SCALE

DATE	DESCRIPTION
04/18/2022	PER TOWN REVIEW & CTDOT APPROVAL
03/21/2022	PER CTDOT REVIEW
	REVISIONS

DETAIL SHEET

PREPARED FOR

**JOLLEY COMMONS, LLC**

WAUREGAN ROAD (ROUTE 12)  
KILLINGLY, CONNECTICUT

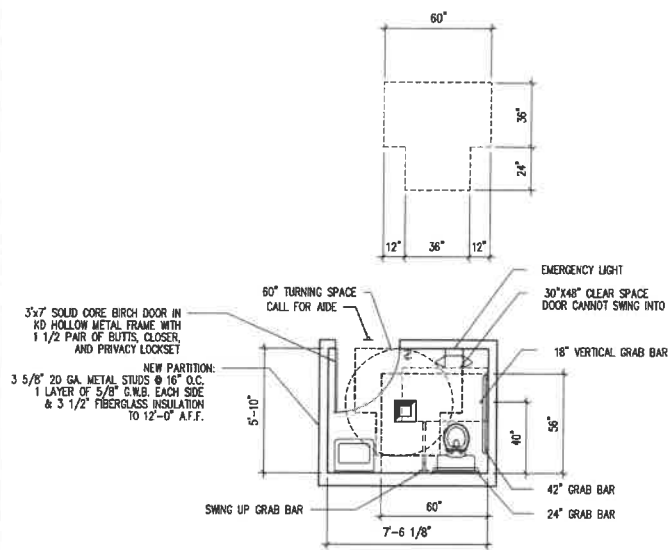
**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 422  
Dayville, Connecticut 06241  
(860) 779-2999 - FAX: (860) 774-3703

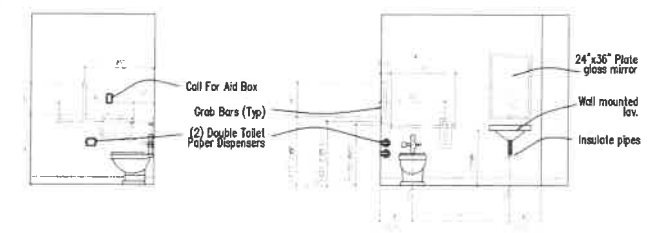
DATE: 12/21/2021	DRAWN: RGS
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 6 OF 6	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21070

NORMAN E. THIBEAULT, JR., P.E. DATE

KS:\1070\Drawings\DWG\_21070\_Dat.dwg Apr 16, 2022 1:24:16 PM



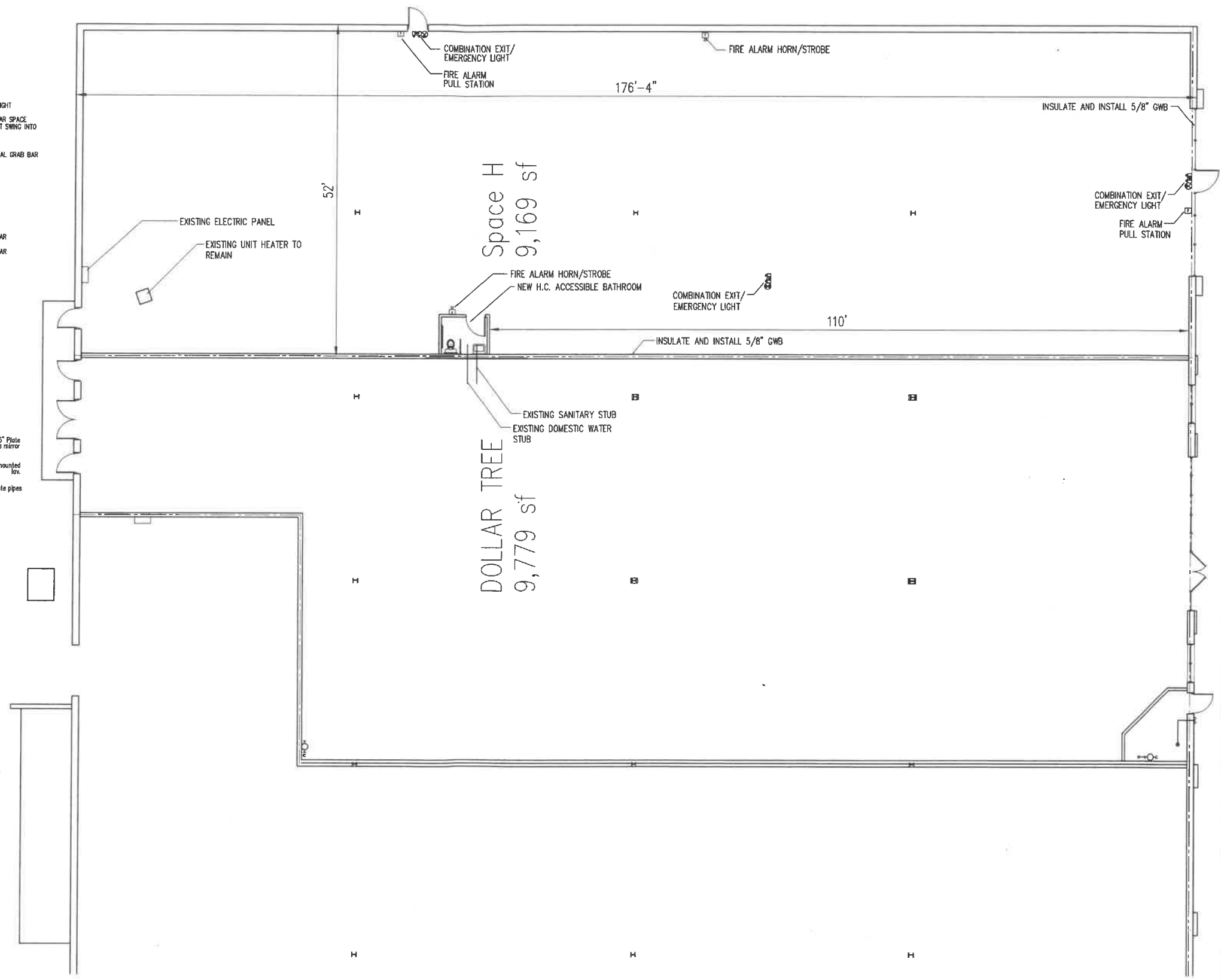
H.C. ACCESSIBLE BATHROOM  
SCALE: 1/4" = 1'-0"



1 TYPICAL LAVATORY ELEVATIONS  
SCALE: 1/4" = 1'-0"

NOTES:

1. THE PURPOSE FOR THIS WORK IS TO FULFILL THE LANDLORDS OBLIGATION ON THE LEASE.
2. THE TENANTS ARE RESPONSIBLE FOR PROVIDING FINAL LAYOUT PLANS AND PERMITTING REQUIRED FOR OCCUPANCY. THE TENANT IS RESPONSIBLE FOR INSTALLATION OF ADDITIONAL LIFE/SAFETY COMPONENTS REQUIRED DUE TO PLACEMENT OF INTERIOR PARTITIONS
3. WORK INCLUDED UNDER THIS PERMIT INCLUDES; CONSTRUCTION OF ONE ADA COMPLIANT BATHROOM, INSULATION & SHEETROCK OF INTERIOR WALL AND FRONT WALL ABOVE STOREFRONT, LIGHTING, & ELECTRICAL COMPONENTS REQUIRED BY FIRE MARSHAL



Space H  
9,169 sf

DOLLAR TREE  
9,779 sf

DAYVILLE FOUR CORNERS SPACE H  
730 HARTFORD PIKE  
DAYVILLE, CT

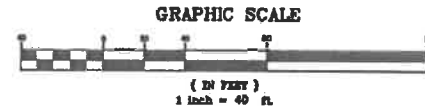
126 SOUTHWINDS STREET  
SUITE 100  
AUBURN, MA 01501  
(508) 721-4033 FAX

DATE: SCALE:  
JUNE 21, 2011 1/8" = 1'-0"  
U.G.N.

REVISIONS:

LANDLORD  
WORK SCOPE

A-1



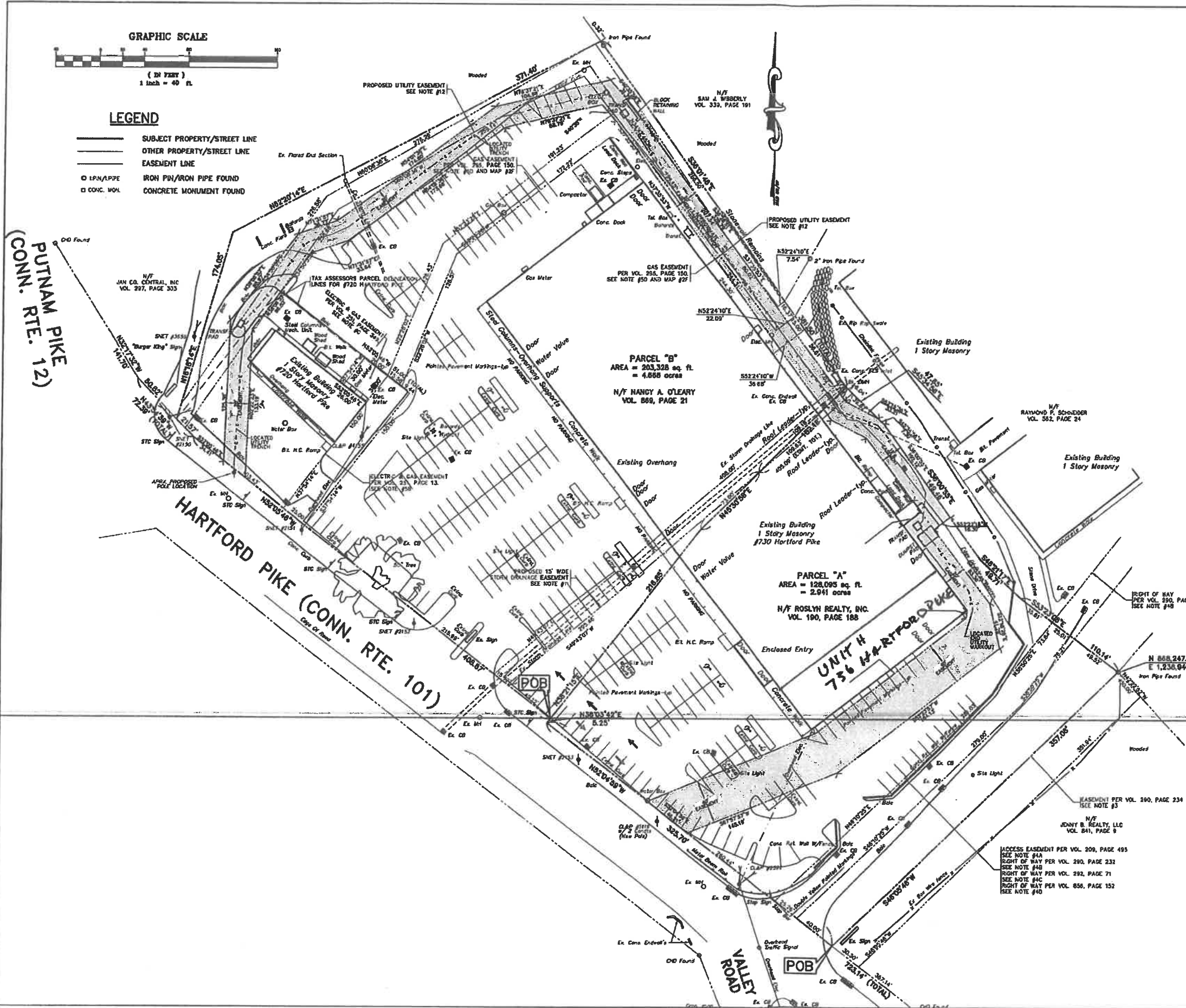
**LEGEND**

- SUBJECT PROPERTY/STREET LINE
- OTHER PROPERTY/STREET LINE
- EASEMENT LINE
- LPA/APPE IRON PIN/IRON PIPE FOUND
- CONC. MON. CONCRETE MONUMENT FOUND

PUTNAM PIKE (CONN. RTE. 12)

HARTFORD PIKE (CONN. RTE. 101)

VALLEY ROAD



PARCEL "B"  
AREA = 203,328 sq. ft.  
= 4.688 acres  
N/F NANCY A. O'LEARY  
VOL. 889, PAGE 21

PARCEL "A"  
AREA = 128,095 sq. ft.  
= 2.941 acres  
N/F ROSLYN REALTY, INC.  
VOL. 190, PAGE 188

UNIT #  
736 HARTFORD PIKE

**NOTES**

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-306B-1 THROUGH 20-306B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 25, 1996. THE TYPE OF SURVEY PERFORMED IS A COMPILATION PLAN. THIS SURVEY CONFORMS TO A CLASS "D" HORIZONTAL ACCURACY AND IS INTENDED TO ACQUIRE AN EASEMENT.
2. THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS A RESULT OF A FIELD SURVEY, AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS:
  - A. "RIGHT OF WAY MAP TOWN OF KILLINGLY, KILLINGLY-EAST KILLINGLY ROAD FROM THE NORWICH-PUTNAM ROAD EASTERLY TO THE BALLOUVILLE ROAD, ROUTE NO. 101," BY THE CONNECTICUT STATE HIGHWAY DEPARTMENT, SCALE 1"=40' AND DATED NOV. 30, 1988.
  - B. "PLOT PLAN ROSLYN REALTY, INC., STATE HIGHWAY ROUTE 101 KILLINGLY, CONNECTICUT" BY GILBERT F. PERRY, SCALE 1"=40', DATED MARCH 10, 1972, TOWN OF KILLINGLY LAND RECORDS MAP #15-10.
  - C. "ELECTRIC AND GAS EASEMENT ON PROPERTY OF CONRAD AND OLIVE JODON, TOWN OF KILLINGLY BY THE CONNECTICUT LIGHT & POWER COMPANY, DIV. NO. 229, SCALE 1"=40' AND DATED 4-4-79, KILLINGLY LAND RECORDS MAP #17-124.
  - D. "ELECTRIC EASEMENT ON PROPERTY OF CONRAD AND OLIVE JODON, TOWN OF KILLINGLY BY THE CONNECTICUT LIGHT & POWER COMPANY, DIV. NO. 229, SCALE 1"=40' AND DATED 4-30-79, KILLINGLY LAND RECORDS MAP #17-132.
  - E. "PLAN OF LAND OF RAYMOND P. SCHNEIDER NORTHEASTERLY OF ROUTE #101 KILLINGLY, CONNECTICUT" BY KELTYKA, WOODS & PKE, SCALE 1"=40', DATED 1-15-1981 AND REVISED ON 6-9-1982, MAP NOT ON FILE IN THE KILLINGLY LAND RECORDS.
  - F. "SURVEY PLAN PREPARED FOR RAYMOND P. SCHNEIDER & ROBERT WELCH AND JOSEPH C. JODON & OLIVE C. JODON SHOWING PROPOSED GAS EASEMENT FOR THE CONNECTICUT LIGHT & POWER COMPANY ROUTE #101 KILLINGLY, CONNECTICUT" BY KELTYKA, WOODS, & PKE, SCALE 1"=40' AND DATED 11-5-1982, KILLINGLY LAND RECORDS MAP #18-44.
  - G. "SITE GRADING AND UTILITY PLAN ADDITION TO EXIST. SHOPPING CENTER ROUTE 101 KILLINGLY, CONNECTICUT ROSLYN REALTY, INC. DEVELOPER MANFIELD, CONNECTICUT BY R.P. DRUMMOND ASSOCIATES, SCALE 1"=40', DATED 12-18-81, AND REVISED LAST ON 11-04-82.
  - H. "SITE ELECTRICAL PLAN, FOUR CORNERS SHOPPING PLAZA, 730 HARTFORD PIKE, DAYVILLE, CT" BY GALAXY DEVELOPMENT, LLC, SCALE 1"=40' AND DATED 6-27-12 MARKED NOT FOR CONSTRUCTION. PLAN RECEIVED FROM CLIENT.
  - I. "ALTA/ACM LAND TITLE SURVEY, PROPERTY SURVEY LAND NOW OR FORMERLY OF ROSLYN REALTY, INC. AND NANCY A. O'LEARY, 720 & 730 HARTFORD PIKE, KILLINGLY, CONNECTICUT" BY O'BRIEN ASSOCIATES, INC. SCALE 1"=40' DATED 3-23-2004, FILE 2775.
4. PARCEL "A" IS TOGETHER WITH A SLOPE EASEMENT AS RECORDED IN VOL. 290, PAGE 234 OF THE KILLINGLY LAND RECORDS.
5. PARCEL "B" IS SUBJECT TO THE FOLLOWING:
  - A. AN ACCESS EASEMENT GRANTED TO FRANK CARBONE AS RECORDED IN VOL. 209, PAGE 455 OF THE KILLINGLY LAND RECORDS.
  - B. A UTILITY EASEMENT AS GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AND RECORDED IN VOLUME 251, PAGE 13 OF THE KILLINGLY LAND RECORDS.
  - C. A RIGHT OF WAY AS GRANTED TO RAYMOND P. SCHNEIDER AND RECORDED IN VOLUME 282, PAGE 71 OF THE KILLINGLY LAND RECORDS.
  - D. A RIGHT OF WAY AS GRANTED TO RAYMOND P. SCHNEIDER AND RECORDED IN VOLUME 856, PAGE 152 OF THE KILLINGLY LAND RECORDS.
  - E. A RIGHT TO DISCHARGE WATER AS GRANTED TO THE STATE OF CONNECTICUT AND RECORDED IN VOLUME 85, PAGE 295 OF THE KILLINGLY LAND RECORDS.
6. PARCEL "A" IS SUBJECT TO THE FOLLOWING:
  - A. A UTILITY EASEMENT "...ON, OVER, UNDER AND ALONG ANY OR ALL OF THE PRIVATE OR PUBLIC STREETS OR PASSEWAYS NOW OR HEREAFTER LAID OUT OR LOCATED ON THE LAND..." AS GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AND RECORDED IN VOL. 191, PAGE 438 OF THE KILLINGLY LAND RECORDS. NO EVIDENCE OF THE FACILITIES REFERRED TO IN THIS DOCUMENT WAS FOUND IN THE FIELD.
  - B. A UTILITY EASEMENT AS GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AND RECORDED IN VOLUME 251, PAGE 13 OF THE KILLINGLY LAND RECORDS.
  - C. A UTILITY EASEMENT AS GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AND RECORDED IN VOL. 251, PAGE 249 OF THE KILLINGLY LAND RECORDS.
  - D. A UTILITY EASEMENT AS GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AND RECORDED IN VOL. 295, PAGE 150 OF THE KILLINGLY LAND RECORDS.
  - E. A POSSIBLE RIGHT TO DRAIN IN FAVOR OF THE STATE OF CONNECTICUT AS SHOWN ON THE BLUE REFERENCE MAPS.
  - F. A RIGHT TO PASS "...AND BY THE USUAL PASSWAY..." AS RESERVED BY GEORGE BLANCHARD IN VOL. 48, PAGE 333 OF THE KILLINGLY LAND RECORDS. NO EVIDENCE OF THIS PASSWAY IS VISIBLE IN THE FIELD. BASED ON RECORD MAPPING, THE PASSWAY WAS ALONG THE EASTERLY PORTION OF THE PARCEL.
7. PARCELS "A" & "B" MAY BE SUBJECT TO A STORM DRAINAGE EASEMENT.
8. UNDERGROUND UTILITIES SHOWN ARE BASED ON RECORD RESEARCH, UTILITY PART MARKINGS, AND OTHER SOURCES OF INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
9. THE PROPOSED ELECTRICAL EASEMENT FOR THE CONNECTICUT LIGHT AND POWER COMPANY IS SHOWN SHADED IN GREY FOR CLARITY.

PREPARED BY:  
**O'BRIEN ASSOCIATES, INC.**  
83 MOUNTAIN LAUREL DRIVE  
MIDDLETOWN, CT 06457  
P: 860-345-7511 F: 860-345-7522

**COMPILATION PLAN**  
MAP SHOWING EASEMENT AREA TO BE GRANTED TO  
The Connecticut Light and Power Company  
Across the Property of  
N/F Roslyn Realty, Inc.  
and  
N/F Nancy A. O'Leary  
720 & 730 Hartford Pike, Killingly, Connecticut

SCALE	DATE	FILE	SHEET
1" = 40'	SEP 17, 2012	3341	1 OF 1

NO.	DATE	DESCRIPTION

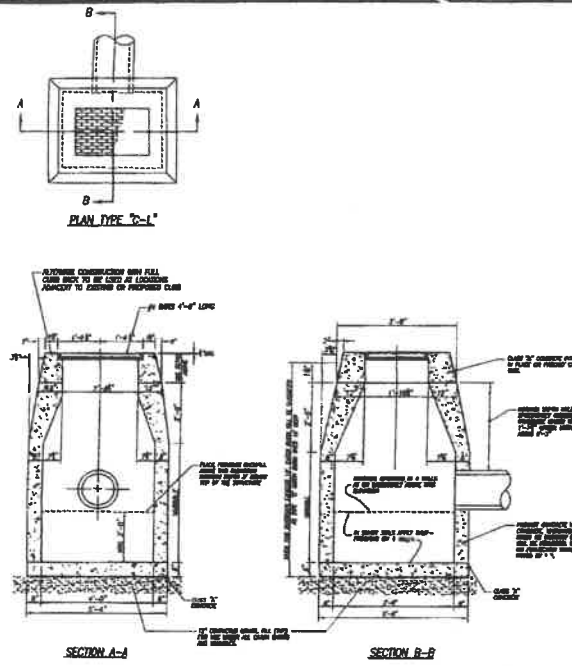
FOR LOCATION OF UNDERGROUND UTILITIES AND OTHER FACILITIES CONTACT CALL BEFORE YOU DIG AT 1-800-922-4455.



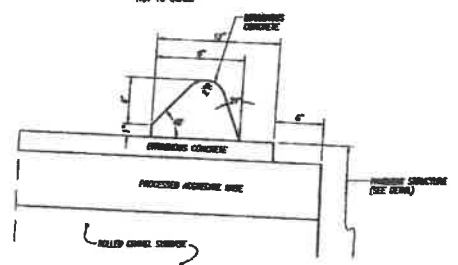
DRAWING NUMBER  
**Wauregan Rd**  
**(Rt. 12)**

DRAWING NUMBER  
**Wauregan Rd**  
**Top**

DRAWING NUMBER  
**#5353**



**TYPE 'C-1' CATCH BASIN DETAIL**  
NOT TO SCALE



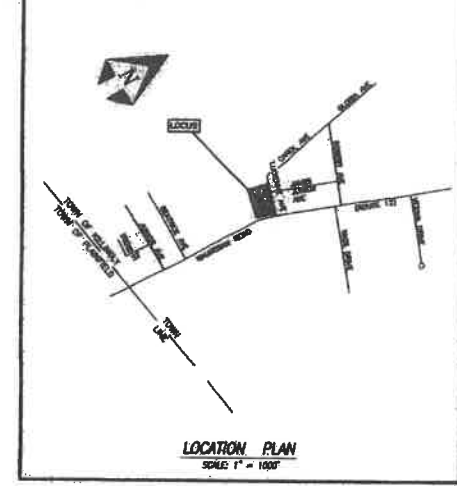
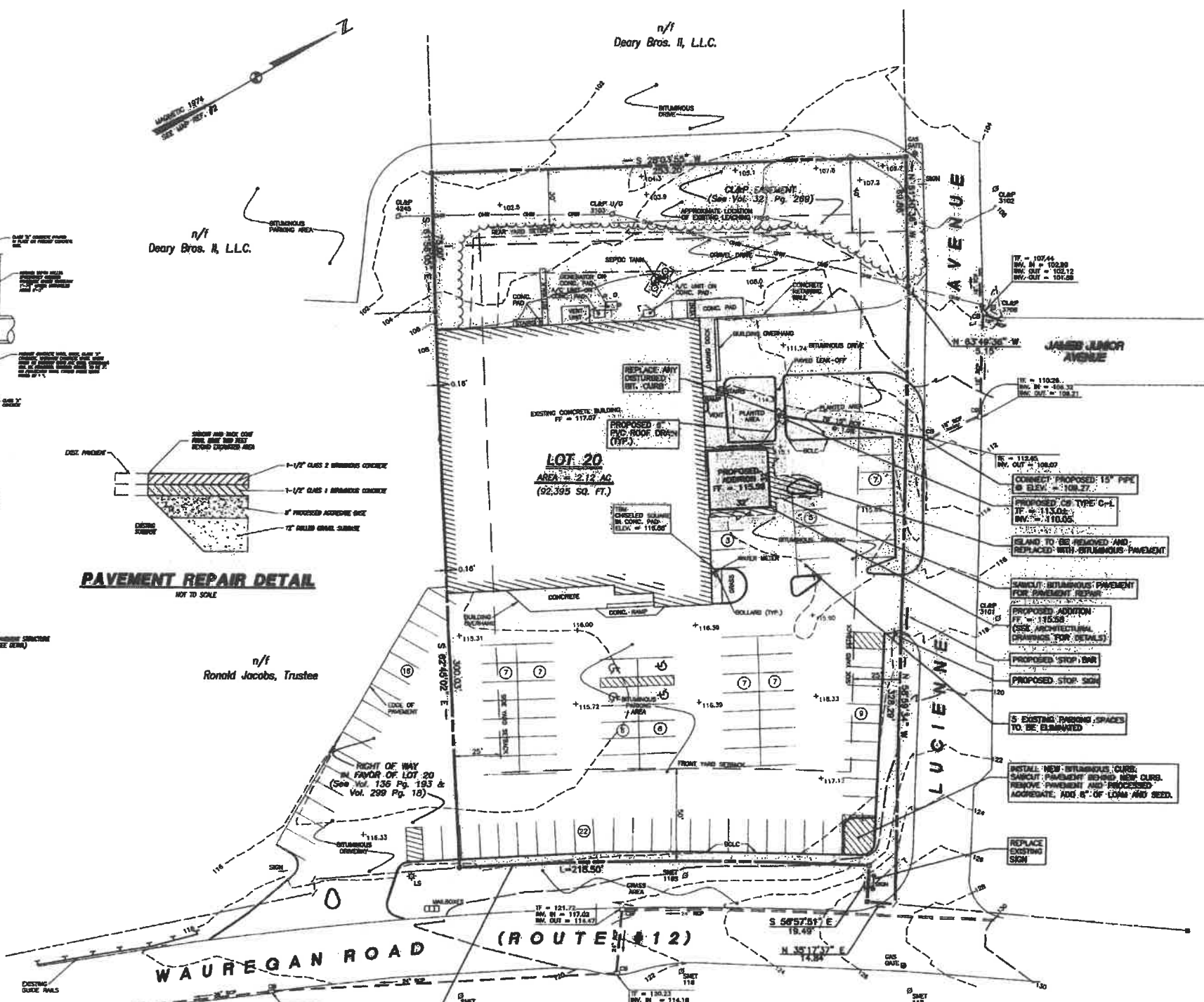
**PAVEMENT REPAIR DETAIL**  
NOT TO SCALE

**BITUMINOUS CONCRETE LIP CURBING DETAIL**  
NOT TO SCALE

- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300a-1 through 20-300a-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 25, 1986.
    - Survey Type: Improvement Location Survey.
    - Boundary lines shown conform to a Class "D" horizontal accuracy.
    - Topographic features conform to a Class "Y-3" vertical accuracy.
  - Owner: George R. Pappas  
7 Bonaventure Street  
Darien, Ct 06239
  - Parcel is shown as Lot #20, on Assessor's Tax Map #282.
  - Lot shown is located in Flood Hazard Zone "C" as shown on FRM Flood Insurance Rate Map #00013600 2213, Effective Date Jan. 3, 1985.
  - Elevations based on Assumed Datum.  
Contours taken from actual field survey. Contour interval = 2'.
  - Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
- MAP REFERENCE:**
- "Plan of Land of the Joly Shopping Center in the Town of Killingly, Conn. - Scale: 1" = 50' - Date: Aug. 17, 1959 - Prepared by William W. Pika, Surveyor."
  - "Survey Plan prepared for Peter J. Holmes, Jr. & Linda C. Holmes - Lucienne Avenue - Killingly, Connecticut - Scale: 1" = 40' - Dates: 8-30-1983 - Sheet 1 of 1 - Prepared by KWP Associates."
  - "Connecticut State Highway Department Right of Way Map, Town of Killingly - Hartford-Palmer Road from the Railroad Trestle Line Northward about 8,000 Feet - Scale: 1" = 40' Dated Feb 26 1937 - Revised: Sep. 18, 1985 - Number 68-11 - Sht 1 of 3."
  - "Survey Plan prepared for Michael P. Pappas - Lucienne Avenue - Killingly, Connecticut - Scale: 1" = 40' - Date: 5/18/1983 - Prepared by Kietzka, Woods & Pika."
  - "Revision of Lot 1 prepared for Ernest Joly & Sons, Inc. - Lucienne Avenue, Killingly, Connecticut - Scale: 1" = 40' - Date: June 1991 - Prepared by Harmon & Associates." On file in the Town of Killingly Land Records, 1991.
  - "Property Survey Plan - Prepared for The Flora Realty Company - Wauregan Road (Route #12) Killingly, Connecticut - Scale: 1" = 30' - Date: 7/12/2004 - Prepared by KWP Associates."

THIS MAP WAS PRODUCED BY  
ORIGINAL DATA ON MYLAR PROCESS  
KWP ASSOCIATES

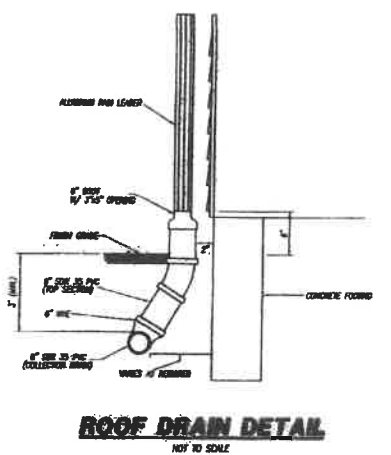
- LEGEND**
- IRON PIN FOUND
  - CHD MONUMENT FOUND
  - CHD POINT
  - UTILITY POLE
  - METAL BEAM GUIDE RAIL
  - GAS GATE
  - BITUMINOUS CURBING
  - MANHOLE
  - EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - EXISTING TREELINE



**TABLE OF ZONING REQUIREMENTS**

ZONE = GC (General Commercial)

	REQUIRED	PROVIDED
Lot Area	40,000 sq.ft.	92,395 sq.ft.
Front Yard Setback	50'	137'
Side Yard Setback	25'	0.16'
Rear Yard Setback	30'	83'
Building Height	40'	<40'
Lot Coverage	60% Max	82%
Parking spaces:		
Retail Space	78 spaces	78 spaces
Storage Space	3 spaces	3 spaces
Basement Storage (Potential)	10 spaces	10 spaces
Office Space	5 spaces	5 spaces
Total	94 spaces	97 spaces



**ROOF DRAIN DETAIL**  
NOT TO SCALE

RECEIVED  
APR 11 2004  
PLANNING & ZONING DEPT.  
TOWN OF KILLINGLY

NOTE: A NEW SITE PLAN REVIEW APPLICATION WILL BE REQUIRED IF THE USE OF THE PROPOSED ADDITION EXPANDS TO SERVICES OTHER THAN TIRE CHANGING.

**TERENCE P. CHAMBERS, P.E. #10360**  
DATE: **SEPT 04**  
TOP MAP UNDER SOL 8 APPROVED

To my knowledge and belief, this map is substantially correct as noted hereon.  
**Bruce D. Woodis** **SEPT. 3, 2004**  
BRUCE D. WOODIS, Conn. L.S. #13848  
No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

DATE	REVISIONS	BY
11/12/2003	ADDED STOP SIGN AND NOTES FOR YOUR APPROVAL.	WSP
12/17/2004	REMOVED TITLE BLOCK AND CATCH BASIN	WSP
10/16/2004	REMOVED PROPOSED PIPE	WSP

**Site Development Plan**  
Prepared For  
**WAUREGAN REALTY, INC.**  
**WAUREGAN ROAD (ROUTE #12)**  
**KILLINGLY, CONNECTICUT**

**KWP** **associates**  
SURVEYING - ENGINEERING - SITE PLANNING  
250 Killingly Road  
Pondert Center, Ct. 06229-0106

SCALE: 1" = 30'  
DATE: 09/02/2004  
SHEET: 1 OF 1  
DWG: KWP  
CHK: PWB/WW

Received for Record: January 21, 2005 at 10:47 AM, attest: *[Signature]*

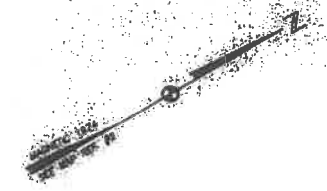
#5353

DRAWING NUMBER  
543 Wauregan Rd.

DRAWING NUMBER  
#5307

DRAWING NUMBER  
#5307

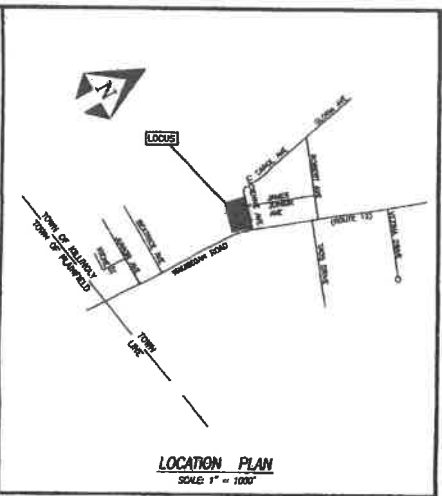
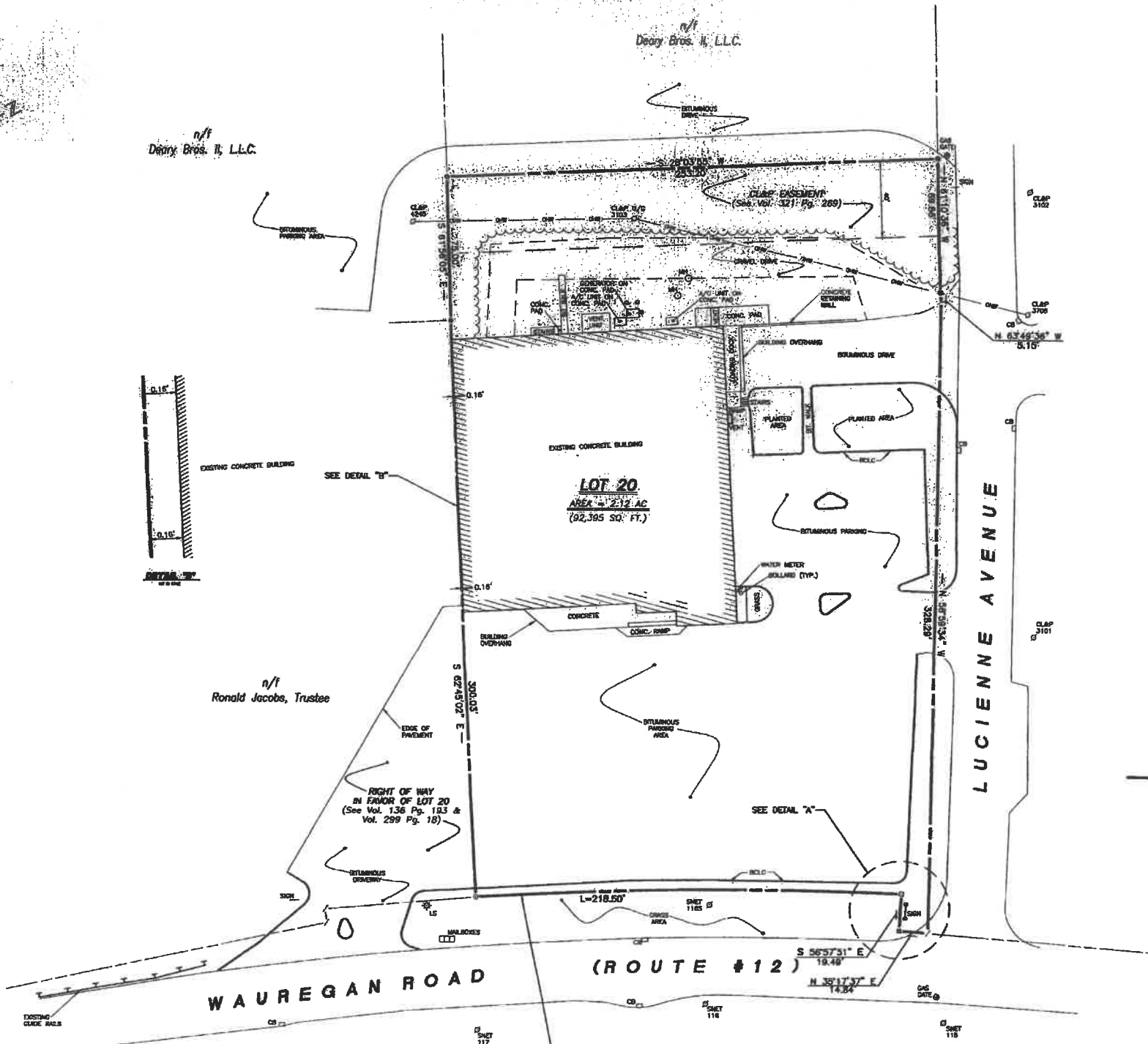
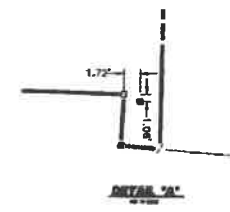
DRAWING NUMBER  
#5307



n/f  
Deary Bros. II, L.L.C.

n/f  
Deary Bros. II, L.L.C.

n/f  
Ronald Jacobs, Trustee



- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 28, 1996;
    - Survey Type: Property Survey.
    - Boundary Determination Category: Dependent Resurvey.
    - Boundary lines shown conform to a Class "A-2" horizontal accuracy.
  - Owner: Georgiella R. Peppas  
7 Boonville Street  
Danverson, CT 06238
  - Parcel is shown as Lot #20, on Assessors Tax Map #282.
  - Lot shown is located in Flood Hazard Zone "C" as shown on FEMA Flood Insurance Rate Map #09013000 2213, Effective Date Jan. 3, 1983.

- MAP REFERENCE:**
- "Plan of Land of the Joly Shopping Center in the Town of Killingly, Conn. - Scale: 1" = 50' - Date: Aug. 17, 1959 - Prepared by William W. Pils, Surveyor."
  - "Survey Plan prepared for Peter J. Holmes, Jr. & Linda C. Holmes - Lucienne Avenue - Killingly, Connecticut - Scale: 1" = 40' - Dots 5-30-1993 - Sheet 1 of 1 - Prepared by KWP Associates."
  - "Connecticut State Highway Department Right of Way Map, Town of Killingly - Norwich-Putnam Road from the Plainfield Town Line Northwary about 8,000 Feet - Scale: 1" = 40' Date: Feb 25 1937 - Revised Sep. 16, 1955 - Number 68-11 - Sta 1 of 3."
  - "Survey Plan prepared for Michael P. Peppas - Lucienne Avenue - Killingly, Connecticut - Scale: 1" = 40' - Date 5/19/1983 - Prepared by Hollyha, Woods & Pils."
  - "Revision of Lot 1 prepared for Ernest Joly & Sons, Inc. - Lucienne Avenue, Killingly, Connecticut - Scale: 1" = 40' - Date: June 1991 - Prepared by Normande & Associates." On file in the Town of Killingly Land Records, NF 199X.

THIS MAP WAS PRODUCED BY  
ORIGINAL BSK OR BYLAN PROCESS  
KWP ASSOCIATES

D = 08°25'12"  
R = 1950.10'  
L = 218.50'  
CL = 218.39'  
CH = N 29°47'29" E

- LEGEND**
- IRON PIN FOUND
  - IRON PIN SET
  - UTILITY POLE
  - CHD MONUMENT FOUND
  - CHD POINT
  - METAL BEAM GUIDE RAIL
  - GAS GATE
  - BITUMINOUS CURBING
  - MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING TREELINE



ACS GOVERNMENT SERVICES

To my knowledge and belief this map is substantially correct as noted hereon.  
*Bruce D. Woodis*  
BRUCE D. WOODIS, Conn. L.S. #13648  
No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.



REVISIONS		BY
DATE	DESCRIPTION	
10/8/2004	REVISED TITLE BLOCK	AKG

Property Survey Plan  
Prepared For  
**WAUREGAN REALTY, INC.**  
WAUREGAN ROAD (ROUTE #12)  
KILLINGLY, CONNECTICUT

**KWP** associates  
SURVEYING - ENGINEERING - SITE PLANNING

250 Killingly Road  
Pondret Center, CT 06259-0109

SCALE: 1" = 30'  
DATE: 07/12/2004  
SHEET: 1 OF 1  
PROJ # 04068 PR-459  
Date: AKF Date: AKF

Received for Record: October 8, 2004 at 11:43 AM. Attest: *Bruce D. Woodis* Not.

#5307

**SCHEDULE A, PROPERTY DESCRIPTION**

A CERTAIN PARCEL OF LAND LOCATED ON THE WESTERLY SIDE OF WAUREGAN ROAD (ROUTE #12) IN THE TOWN OF KILLINGLY, COUNTY OF WINDHAM, STATE OF CONNECTICUT AND BEING SHOWN AS LOT 20 ON A PLAN TITLED "PROPERTY SURVEY PLAN PREPARED FOR WAUREGAN REALTY, INC., WAUREGAN ROAD (ROUTE #12), KILLINGLY, CONNECTICUT, SCALE: 1" = 30', DATE: 07/12/2004, KWP ASSOCIATES SURVEYING, ENGINEERING AND SITE PLANNING, SAID LOT BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT CONNECTICUT HIGHWAY DEPARTMENT MONUMENT IN THE WESTERLY LINE OF WAUREGAN ROAD MARKING A CORNER OF THE HERSON DESCRIBED PARCEL, SAID MONUMENT BEING LOCATED 15 FEET MORE OR LESS SOUTH-WESTERLY OF THE INTERSECTION OF WAUREGAN ROAD, (ROUTE #12) WITH LUCIENNE AVENUE; THENCE N 35° 17' 37" E 14.84 FEET ALONG THE WESTERLY LINE OF WAUREGAN ROAD (ROUTE #12) TO A POINT; THENCE N 88° 52' 44" W 329.25 FEET TO A POINT; THENCE N 67° 49' 30" W 4.18 FEET TO AN IRON PIN; THENCE N 61° 10' 35" W 58.59 FEET TO AN IRON PIN, THE LAST THREE COURSES FOLLOWING THE SOUTHERLY LINE OF LUCIENNE AVENUE; THENCE S 29° 05' 59" W 253.25 FEET TO AN IRON PIN; THENCE S 81° 58' 05" E 78.00 FEET TO AN IRON PIN, THE LAST TWO COURSES BEING BOUNDED WESTERLY AND SOUTHERLY BY LAND NOW OR FORMERLY OF DEARY BROS. I, L.L.C.; THENCE S 62° 43' 02" E 300.00 FEET TO AN IRON PIN, THE LAST COURSE BEING BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF RONALD JACOBS, TRUSTEE; THENCE IN A NORTH-EASTERLY DIRECTION 218.30 FEET ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1,850.10 FEET (THE CHORD OF SAID CURVE BEING N 29° 47' 29" E 218.30 FEET) TO A POINT; THENCE S 59° 57' 51" E 19.49 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MONUMENT AND POINT OF BEGINNING, THE LAST TWO COURSES FOLLOWING THE WESTERLY LINE OF WAUREGAN ROAD (ROUTE #12). THE ABOVE DESCRIBED PARCEL CONTAINS 2.12 ACRES (92,385 SQUARE FEET)

TOGETHER WITH A RIGHT OF WAY OVER THE NORTH-EASTERLY CORNER OF LAND NOW OR FORMERLY OF RONALD JACOBS, TRUSTEE AS SHOWN ON THE ABOVE REFERENCED PLAN, SEE VOLUME 138, PAGE 163 AND VOLUME 299, PAGE 18 OF THE TOWN OF KILLINGLY LAND RECORDS.

**SURVEYORS METES AND BOUNDS DESCRIPTION**

- MAP 282, LOT 20 TOWN OF KILLINGLY, WINDHAM COUNTY, CONNECTICUT
- BEGINNING AT A POINT ON THE WESTERLY LINE OF WAUREGAN ROAD (AKA ROUTE 12 - PUBLIC - VARIABLE WIDTH) AND FROM SAID POINT OF BEGINNING, RUNNING THENCE THE FOLLOWING TWO (2) COURSES ALONG WAUREGAN ROAD:
1. NORTH 55 DEGREES - 57 MINUTES - 51 SECONDS WEST, A DISTANCE OF 19.49 FEET TO A CONCRETE BOUND WITH A DRELL-HOLE FOUND, THENCE;
  2. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1850.10 FEET, A CENTRAL ANGLE OF 08 DEGREES - 25 MINUTES - 12 SECONDS, AN ARC LENGTH OF 218.30 FEET, A CHORD BEARING OF SOUTH 29 DEGREES - 47 MINUTES - 29 SECONDS WEST, AND A CHORD DISTANCE OF 218.30 FEET TO AN IRON ROD FOUND AT A CORNER IN COMMON WITH MAP 282, LOT 19 (N/F LANDS OF RONALD JACOBS, TRUSTEE), THENCE;
  3. ALONG THE DIVIDING LINE WITH SAID MAP 282, LOT 19, NORTH 82 DEGREES - 45 MINUTES - 02 SECONDS WEST, A DISTANCE OF 300.00 FEET TO A CORNER IN COMMON WITH MAP 282, LOT 21 (N/F LANDS OF DEARY BROS. I, L.L.C.), THENCE;
  4. ALONG THE DIVIDING LINE WITH SAID MAP 282, LOT 21, NORTH 81 DEGREES - 56 MINUTES - 05 SECONDS WEST, A DISTANCE OF 75.00 FEET TO AN IRON ROD FOUND AT A CORNER IN COMMON WITH MAP 282, LOT 22 (N/F LANDS OF DEARY BROS. I, L.L.C.), THENCE;
  5. ALONG THE DIVIDING LINE WITH SAID MAP 282, LOT 22, NORTH 28 DEGREES - 03 MINUTES - 55 SECONDS EAST, A DISTANCE OF 263.20 FEET TO A POINT ON THE SOUTHERLY LINE OF LUCIENNE AVENUE (PUBLIC - VARIABLE WIDTH), RUNNING THENCE THE FOLLOWING THREE (3) COURSES ALONG LUCIENNE AVENUE:
  6. SOUTH 61 DEGREES - 10 MINUTES - 38 SECONDS EAST, A DISTANCE OF 60.88 FEET, THENCE;
  7. SOUTH 63 DEGREES - 49 MINUTES - 36 SECONDS EAST, A DISTANCE OF 5.15 FEET, THENCE;
  8. SOUTH 58 DEGREES - 09 MINUTES - 34 SECONDS EAST, A DISTANCE OF 329.25 FEET TO A POINT AT THE INTERSECTION OF WAUREGAN ROAD AND LUCIENNE AVENUE, THENCE;
  9. ALONG THE WESTERLY LINE OF WAUREGAN ROAD, SOUTH 29 DEGREES - 17 MINUTES - 37 SECONDS WEST, A DISTANCE OF 14.84 FEET TO THE POINT AND PLACE OF BEGINNING.

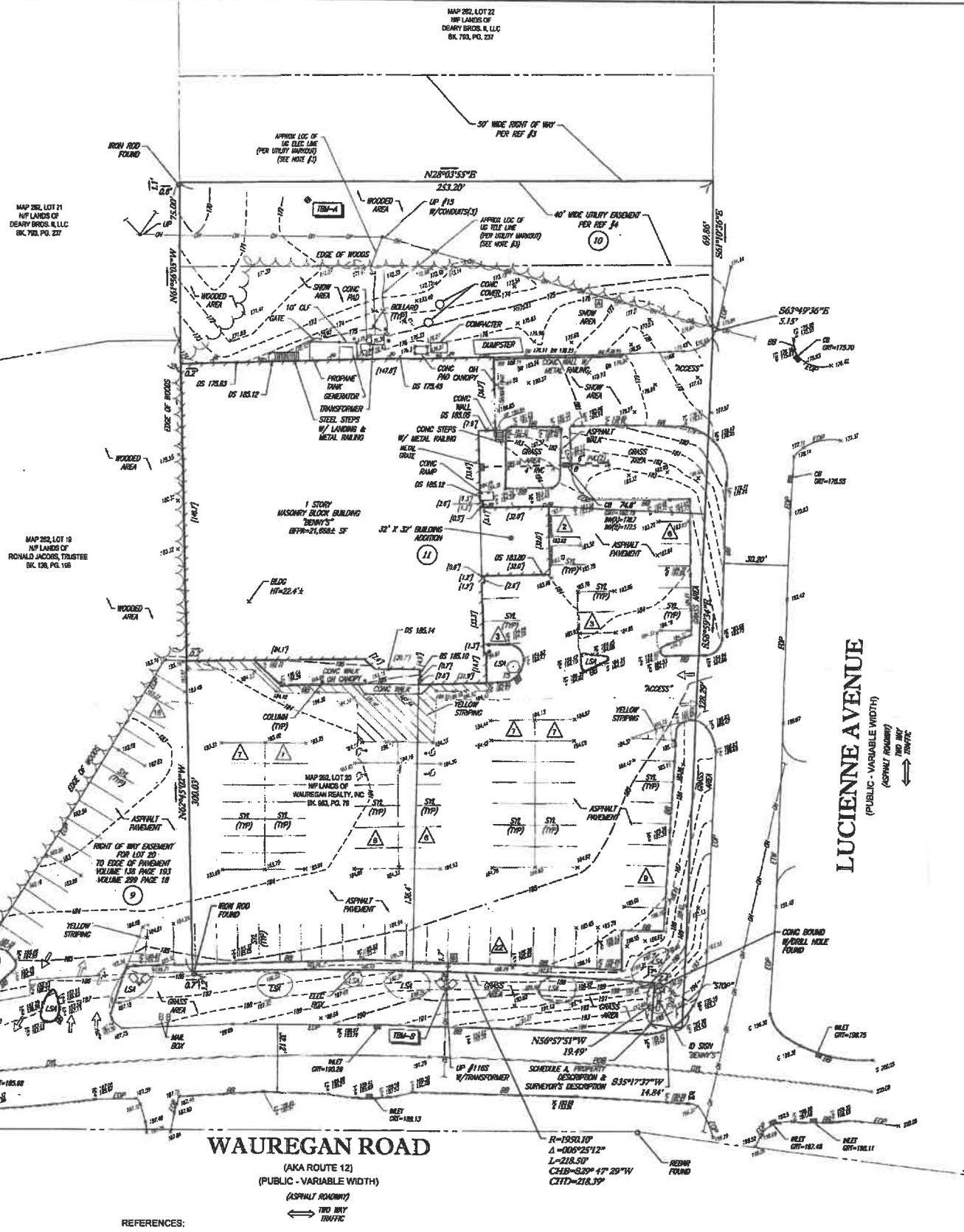
CONTAINING 92,385 SQUARE FEET OR 2.121 ACRES

**ZONING INFORMATION**

GENERAL COMMERCIAL DISTRICT SOURCE: KILLINGLY ZONING MAP & TABLE A - DIMENSIONAL REQUIREMENTS TOWN OF KILLINGLY ZONING CODE

ITEMS	REQUIRED
MIN LOT AREA	40,000 SQ. FT.
MIN FRONTAGE	150 FT.
MIN STREET SETBACK	50 FT.
MIN SIDE LINE SETBACK	25 FT.
MIN REAR LINE SETBACK	30 FT.
MAX BUILDING HEIGHT	40 FT.

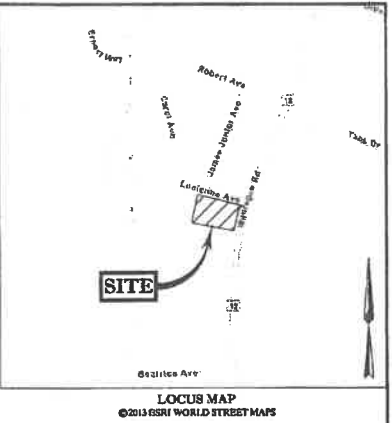
NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.



**LEGEND**

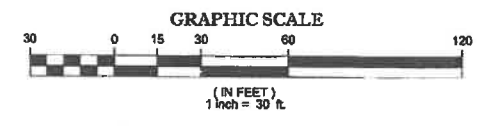
- EXISTING CONTOUR
- x 121.43 EXISTING SPOT ELEVATION
- x 121.43 EXISTING TOP OF CURB ELEVATION
- x 121.43 EXISTING GUTTER ELEVATION
- x 121.43 EXISTING TOP OF WALL ELEVATION
- x 121.43 EXISTING BOTTOM OF WALL ELEVATION
- x 121.43 EXISTING TOP OF SILL ELEVATION
- GAS VALVE
- GAS METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND TELEPHONE LINE
- UTILITY POLE
- GUY WIRE
- AREA LIGHT
- SIGN
- MAIL BOX
- BOLLARD
- PAINTED ARROWS
- CATCH BASIN OR INLET
- TREE & TRUNK SIZE
- PARKING SPACE COUNT
- HANDICAPPED ACCESSIBLE PARKING
- AG ABOVE GROUND
- UG UNDER GROUND
- BP BITUMINOUS BERM
- CLF CHAIN LINK FENCE
- DC DEPRESSED CURB
- EDC EDGE OF CONCRETE
- EDP EDGE OF PAVEMENT
- LSN LANDSCAPED AREA
- (TYP) TYPICAL
- SYL SOLID YELLOW LINE
- LYL DOUBLE YELLOW LINE
- HT HEIGHT
- BLD BUILDING
- BFM BUILDING FOOTPRINT AREA
- IN INVERT ELEVATION
- GRV GRATE ELEVATION
- ETW EDGE OF TRAVELED WAY
- PVC POLYVINYL CHLORIDE
- [DLT] BUILDING DIMENSION AT GROUND LEVEL

- NOTES:**
1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1998. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 28, 1998, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
  2. PROPERTY KNOWN AS LOT 20 AS SHOWN ON THE TOWN OF KILLINGLY, WINDHAM COUNTY, STATE OF CONNECTICUT MAP NO. 282. AREA = 92,385 SQUARE FEET OR 2.121 ACRES
  3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND UTILITIES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  5. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. H47247824, WITH AN EFFECTIVE DATE OF OCTOBER 4, 2011, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - SECTION 2:
    - (8) TERMS AND CONDITIONS REGARDING A RIGHT OF WAY OVER NORTH-EASTERLY CORNER OF LAND NOW OR FORMERLY OF RONALD JACOBS, TRUSTEE AS REFERENCED IN VOLUME 138, PAGE 163 AND VOLUME 299, PAGE 18 OF THE KILLINGLY LAND RECORDS - GRANTS ACCESS TO MAP 282, LOT 20 TO USE, MAINTAIN, AND IMPROVE THE PAVED PARKING AND ENTRANCE AREA ON MAP 282, LOT 19, PARKING AND ENTRANCE AREA SHOWN HEREON.
    - (10) EASEMENT TO CONNECTICUT LIGHT AND POWER COMPANY AS SET FORTH IN VOLUME 321, PAGE 298 OF THE KILLINGLY LAND RECORDS - 40' WIDE UTILITY EASEMENT SHOWN HEREON.
    - (11) SPECIAL PERMIT RECORDED IN VOLUME 998, PAGE 26 OF THE KILLINGLY LAND RECORDS - BUILDING ADDITION SHOWN
  6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE C (AREAS OF MINIMAL FLOODING) PER REF. #2.
  7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE V98 NETWORK (KEYNET98).
    - TEMPORARY BENCH MARKS SET:
      - TBM-A: SPIKE SET IN UTILITY POLE #1165 - ELEVATION = 172.58'
      - TBM-B: SPIKE SET IN UTILITY POLE #1165 - ELEVATION = 190.05'
    - PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SHEET HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
  8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  9. THE PROPERTY DESCRIBED IN THE TITLE COMMITMENT AS EXHIBIT 'A' IS THE SAME AS SHOWN ON THE SURVEY.
  10. THIS SURVEY WAS PERFORMED DURING A PERIOD WHEN THE GROUND WAS SNOW COVERED. UTILITY STRUCTURES AND SITE FEATURES HAVE BEEN LOCATED AND IDENTIFIED WHICH WERE VISIBLE ON THE DATE OF THE FIELD SURVEY. REMOVAL OF THIS NOTE FROM THE SURVEY WILL REQUIRE A LATER SITE VISIT AFTER THE SNOW HAS MELTED.
  11. **PARKING COUNT**
    - MAP 282, LOT 20: REGULAR SPACES = 70, HANDICAPPED SPACES = 4, TOTAL SPACES = 74
    - MAP 282, LOT 19: REGULAR/TOTAL SPACES = 18



**WAUREGAN ROAD**  
(AKA ROUTE 12)  
(PUBLIC - VARIABLE WIDTH)  
(ASPHALT ROADWAY)

- REFERENCES:**
1. THE TAX ASSESSOR'S MAP OF KILLINGLY, WINDHAM COUNTY, CONNECTICUT, SHEET 9282.
  2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, TOWN OF KILLINGLY, CONNECTICUT COUNTY, PANEL 22 OF 30," COMMUNITY-PANEL NUMBER 080138 0022 B, MAP REVISED: JANUARY 3, 1985.
  3. MAP ENTITLED "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP, TOWN OF KILLINGLY, NORWICH - PUTNAM ROAD, PLAN NO. 68-11, DATED FEBRUARY 28, 1927, LAST REVISED SEPTEMBER 19, 1985.
  4. MAP ENTITLED "UTILITY EASEMENT ON THE PROPERTY OF MICHAEL P. PAPPAS & GEORGETTE R. PAPPAS, TOWN OF KILLINGLY, PREPARED BY CONNECTICUT LIGHT & POWER COMPANY, DATED JUNE 7, 1988, RECORDED IN THE TOWN OF KILLINGLY LAND EVIDENCE RECORDS AS PLAN NO. 84.
  5. MAP ENTITLED "SURVEY PLAN FOR PETER J. HOLMES JR. & LINDA G. HOLMES, LUCIENNE AVENUE, KILLINGLY, CONNECTICUT" PREPARED BY KELTYKA, WOODS & PIKE, DATED AUGUST, 6, 1983, RECORDED IN THE TOWN OF KILLINGLY LAND EVIDENCE RECORDS AS PLAN 10A.
  6. MAP ENTITLED "PROPERTY SURVEY PLAN PREPARED FOR WAUREGAN REALTY, INC. WAUREGAN ROAD, KILLINGLY, CONNECTICUT," PREPARED BY KWP ASSOCIATES, DATED JULY 12, 2004, RECORDED IN THE TOWN OF KILLINGLY LAND EVIDENCE RECORDS AS PLAN 85007.



THIS SURVEY IS CERTIFIED TO: CONTROL POINT ASSOCIATES, INC. FIRST AMERICAN TITLE INSURANCE COMPANY SANDYBANK, N.H.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11, 13 & 14 OF TABLE THEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 28, 2017.

THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL

*James C. Weed*  
**JAMES C. WEED**  
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70289



FIELD DATE	12-28-17	<b>ALTA/NSPS LAND TITLE SURVEY</b>
FIELD BOOK NO.	17-1618A	
FIELD BOOK PG.	31	543 WAUREGAN ROAD
FIELD CREW	A.S.P.	LOT 20, MAP 282
DRAWN	PRIMA	TOWN OF KILLINGLY, WINDHAM COUNTY
REVIEWED	J.C.W.	STATE OF CONNECTICUT
APPROVED	J.C.W.	<b>CONTROL POINT ASSOCIATES, INC.</b>
DATE	3-15-18	352 TURKEY HOLLOW ROAD
SCALE	1"=30'	SOUTHBRIDGE, MA 01772
FILE NO.	03-170386	508.948.3003 FAX
DRAWN	J.C.W.	ALBANY, NY 12217910
DWG. NO.	1 OF 1	BOSTON, MA 02108011
		CHALMONT, PA 21572003
		MARSHFIELD, NY 06780011
		MFLAUREL, NJ 08072009
		WARREN, NJ 08065009

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY CONNECTICUT ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. CDDY REQUEST NUMBER(S): 20174503021

UTILITY COMPANY	PHONE NUMBER
ATLANTIC BROADBAND	888-538-6600
EVSOURCE ELECTRIC	833-778-4149
EVSOURCE GAS	203-317-1501
FRONTIER COMMUNICATIONS	800-838-0828
TOWN OF KILLINGLY - WPCA	800-778-0392

THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXEMPTORS, DESIGNERS, OR ANY PERSON PREPARING OR DISTRIBUTING THE CARRYING SURVEY INSTRUMENT IN THIS STATE.



**project information**

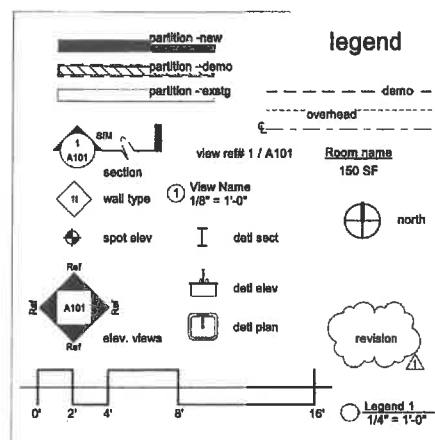
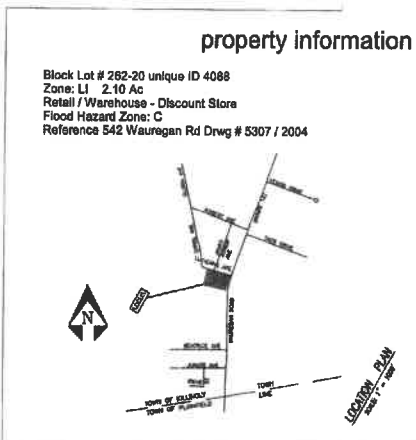
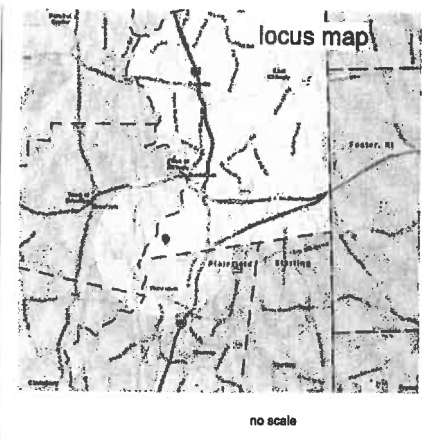
This remodeling / addition project consists of changes in use relevant with transforming a 22,000 sq retail-storage commercial bldg, to an industrial production facility. There will be structural modifications to the existing framework to handle operations sufficiently without change to the existing building envelope. A small addition is proposed to enhance logistical and material handling procedures at the existing service driveway off of Lucerne Ave.

Occupancy Class "L1"  
Constr. class fireproof I.

New Interior remodeling levels 1-2: (see drawings for proposed layout)  
Note: These drawings are in Design Development Phase, details are in progress.

District: Landmark: no  
Addition Scope of Work:

Site preparation for adding a 25' wide vegetation buffer in parking lot and new addition, sign maintenance, excavation for sub-structure concrete foundation, superstructure to consist of steel framing, light ga. stl framing, mineral fiber insulation, gyp bd and metal cladding; to be determined.

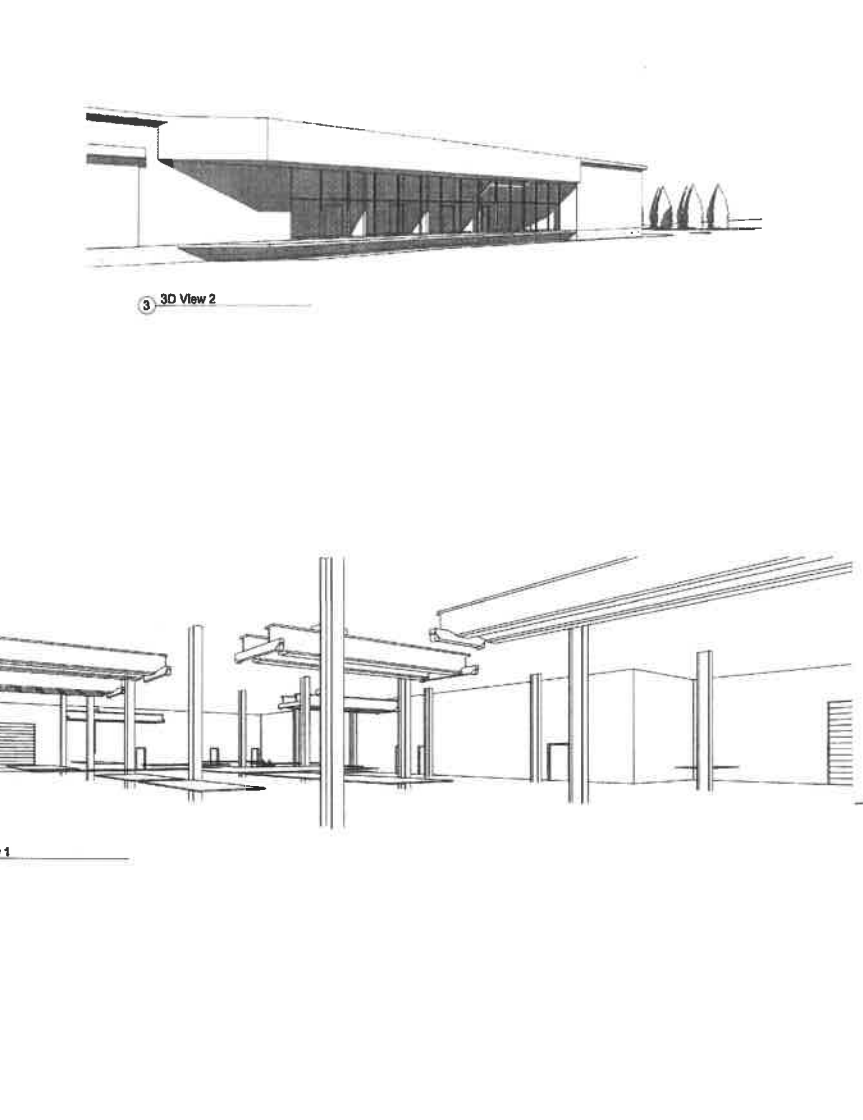
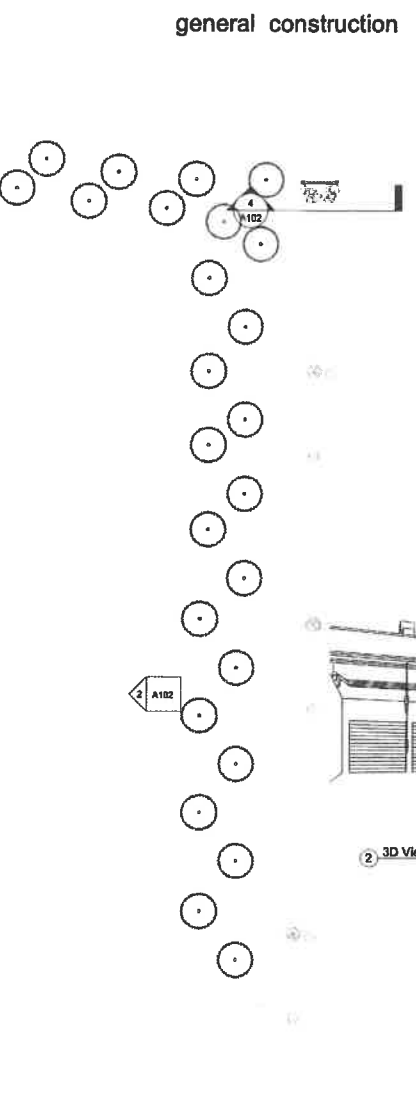
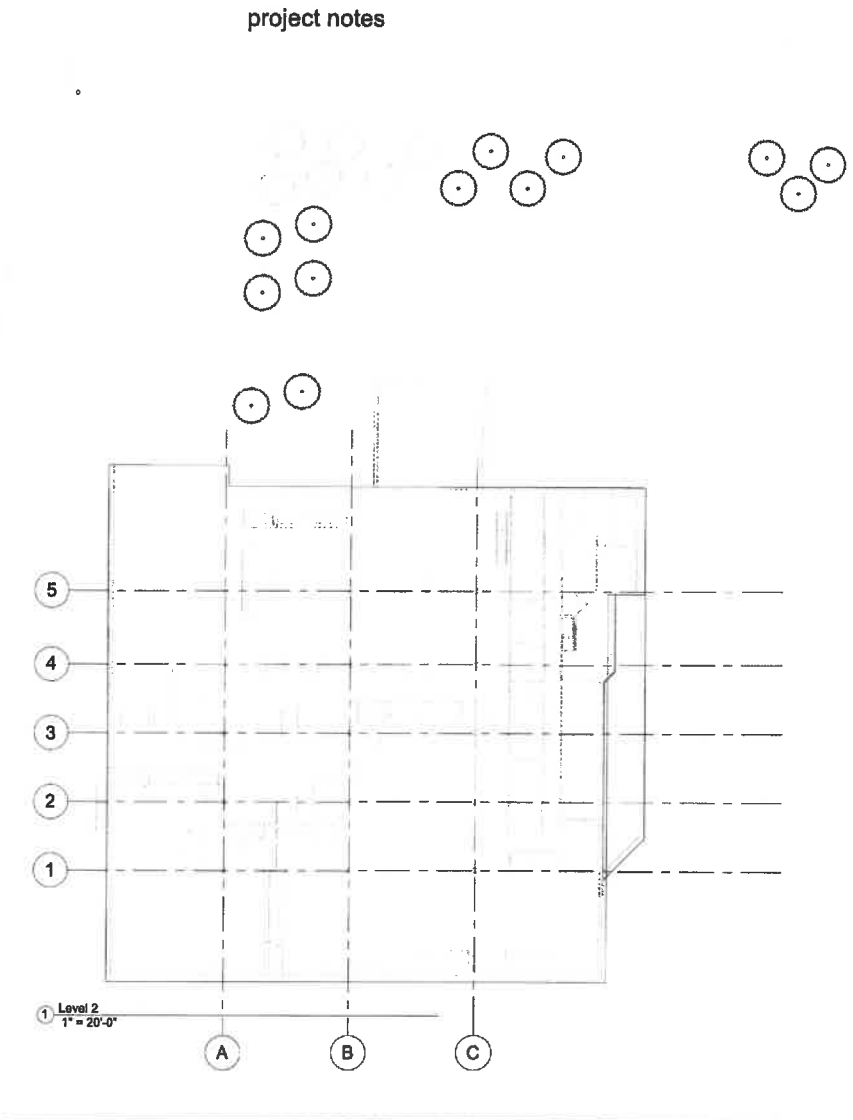


**preview studies drawings list**

no.	description	date
A - 001	Cover Page	
A - 100.01	Site Plan (reference #5307)	
A - 101	Floor Plans	
A - 102	Elevations	
A - 103	Sections	

no.	description	date
		22_0127
		22_0406
		22_0411

These drawings are instruments of service only for use in this project as preliminary studies only. Dimensions and existing conditions must be field verified with any discrepancies to be submitted as written notices to the architect.



consultants:

**Initial Studies Progress**

543 Wauregan Rd.  
Killingly, CT

project  
**Melting Point  
Welding & Fabrication  
Shop**

peaslee architect pc

046 rte 105 woodstock valley ct 06092  
715 383 8500 877 945 5465 c  
design@meltingpoint.com

**A - 001**



no.	description	date
22_0127		
22_0406		
22_0411		

These drawings are instruments of service only for use in this project. Dimensions and existing conditions must be field verified by contractor with understanding that any discrepancies will be substituted as written notices to the architect.

consultants:

**Initial Studies Progress**

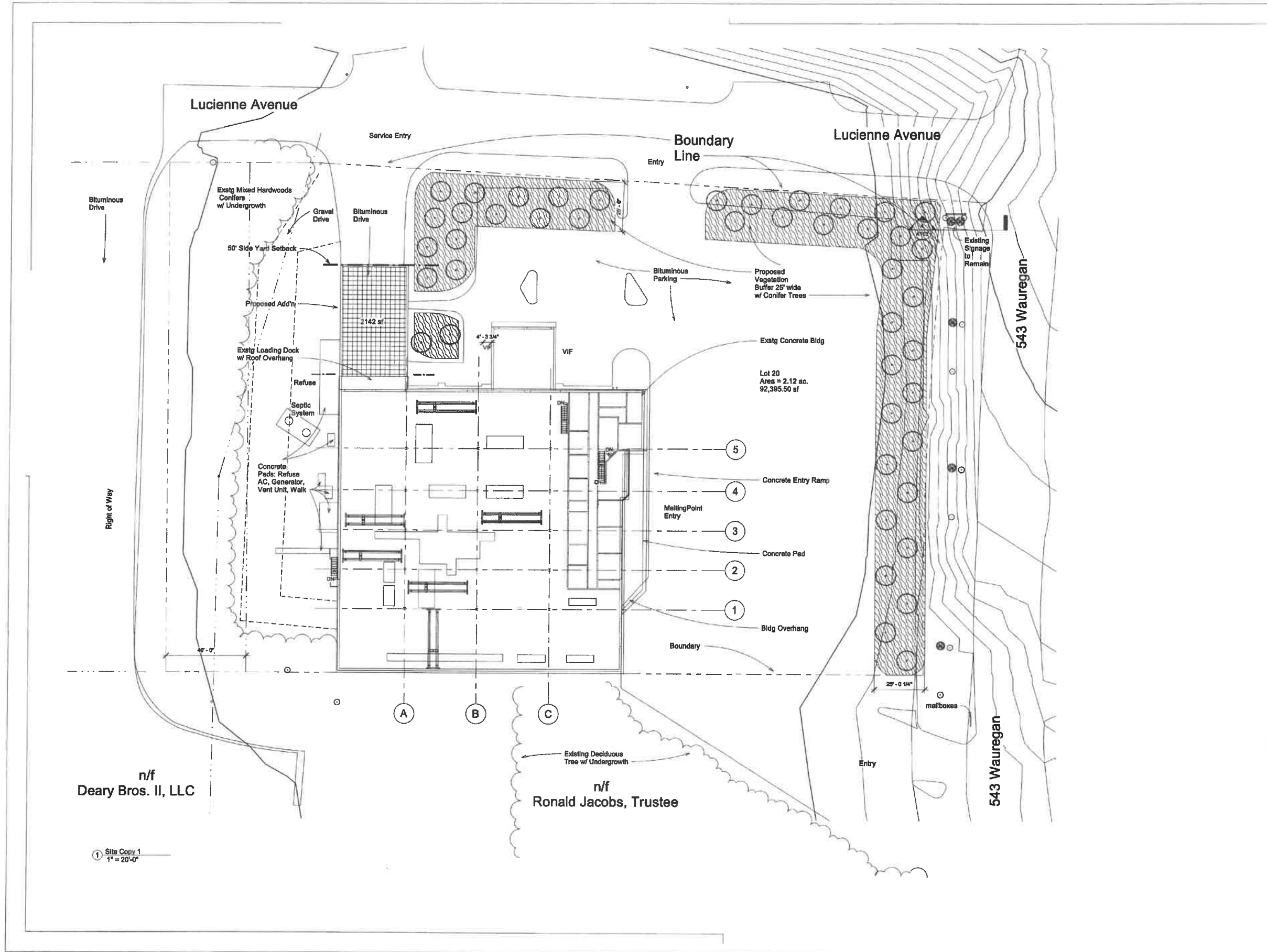
**543 Wauregan Rd.  
Killingly, CT**

project  
**Melting Point  
Welding & Fabrication  
Shop**



643 rte 198  
woodslock valley, ct  
06282  
718 383 8909  
917 945 3485 c  
design@stuar.peaslee.com

**A - 100.01**

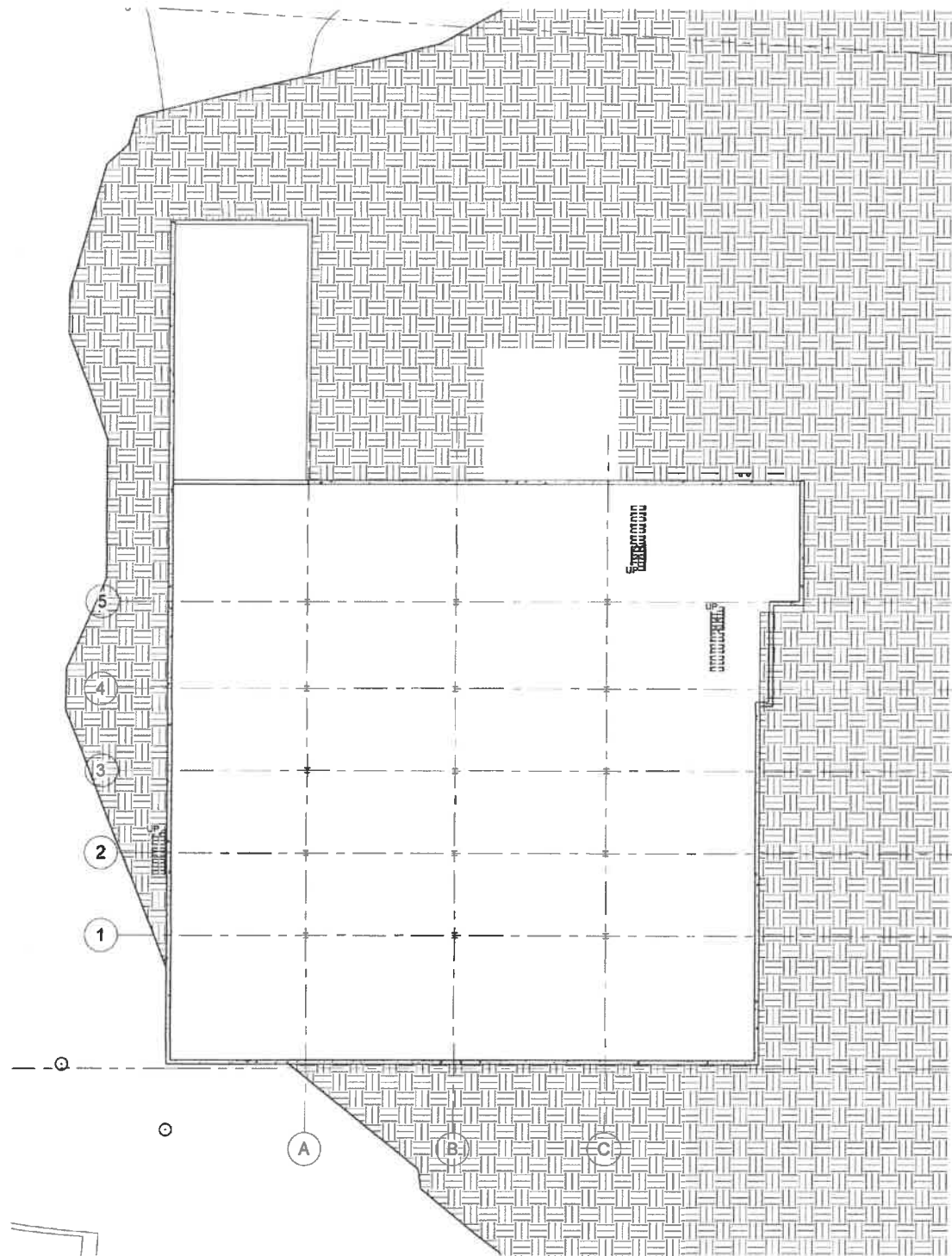


n/f  
**Deary Bros. II, LLC**

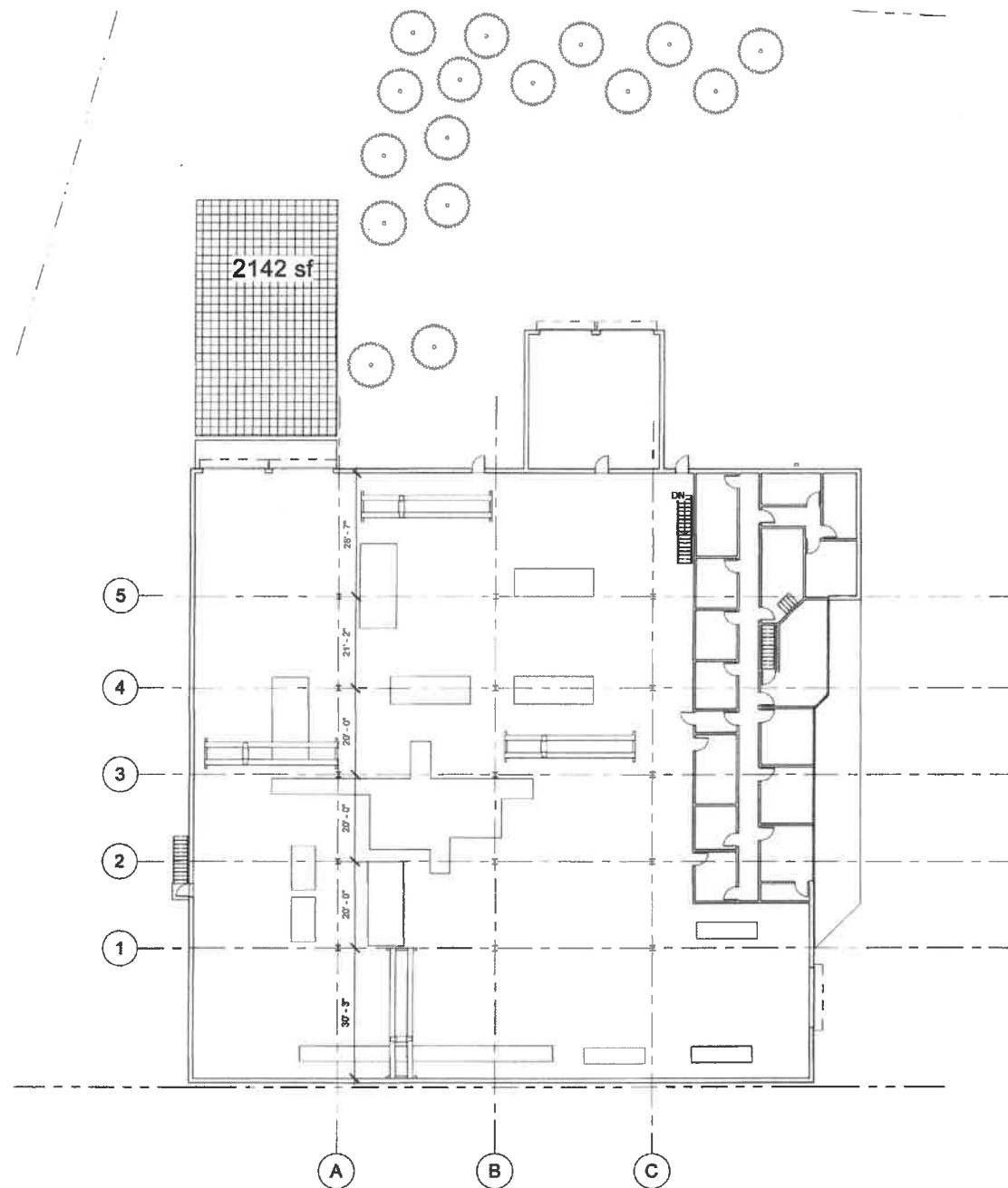
n/f  
**Ronald Jacobs, Trustee**

1 Site Copy 1  
1" = 20'-0"





2 Callar  
1/16" = 1'-0"



1 Level 1  
1/16" = 1'-0"

no.	description	date
22_0127		
22_0411		

These drawings are instruments of service only for use in this project. Dimensions and existing conditions must be field verified by contractor with understanding that any discrepancies will be submitted as written notices to the architect.

consultants:

Initial Studies

543 Wauregan Rd.  
Killingly, CT

project  
Melting Point  
Welding & Fabrication  
Shop



648 de 188  
woodstock valley, ct  
06282  
718 323 8809  
917 845 3465 c  
design@stuartpeaslee.com

A-101.00

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no. description date

22_0127		
22_0411		

These drawings are instruments of service only for use in this project. Dimensions and existing conditions must be field verified by contractor with understanding that any discrepancies will be submitted as written notices to the architect.

consultants:

Initial Studies

543 Wauregan Rd.  
Killingly, CT

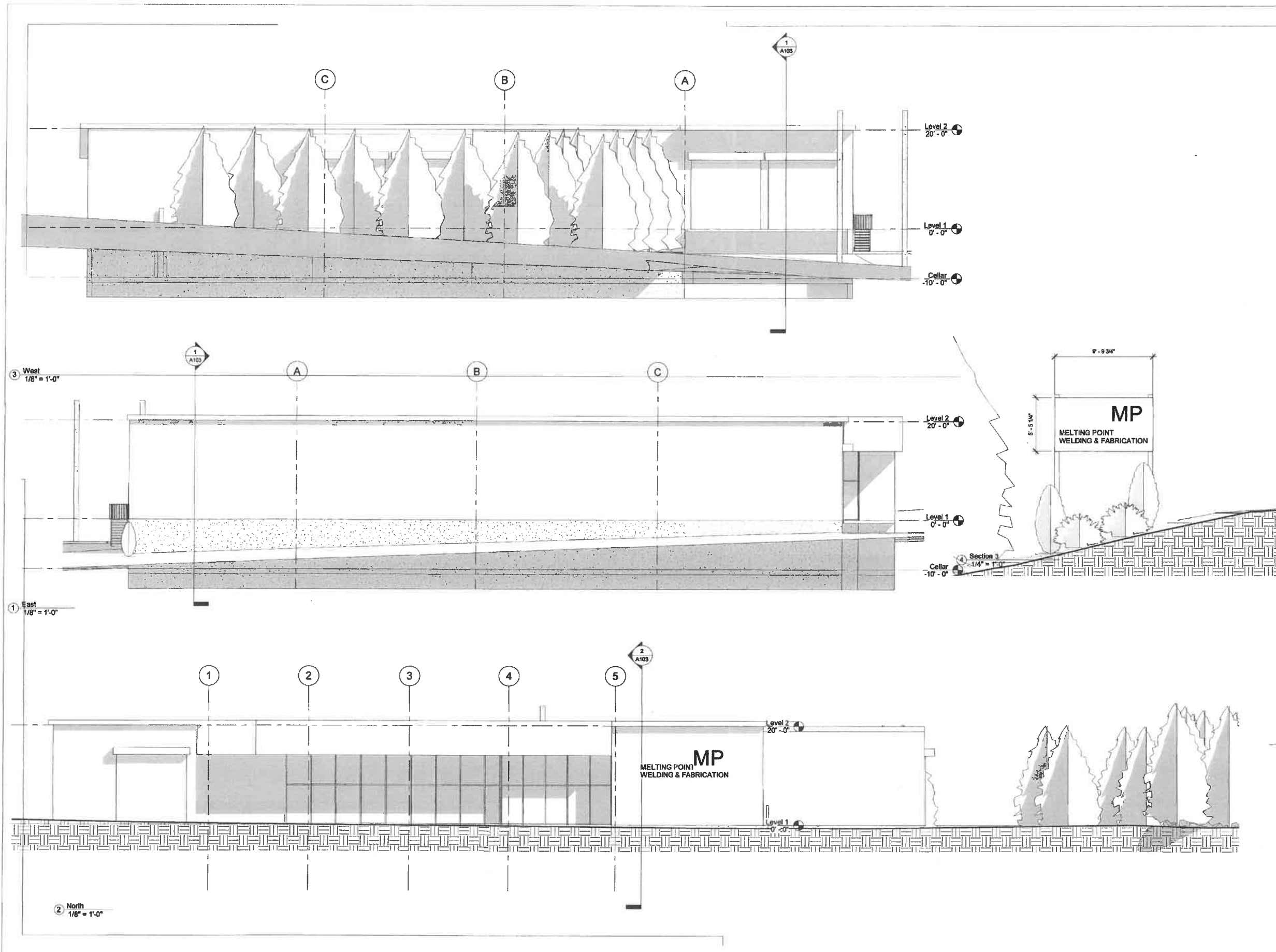
project  
Melting Point  
Welding & Fabrication  
Shop

peaslee architect pc

648 rte 108  
woodstock valley, ct  
06282  
718 383 8909  
517 945 3485 c  
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A-103.00

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2 North  
1/8" = 1'-0"

3 West  
1/8" = 1'-0"

1 East  
1/8" = 1'-0"

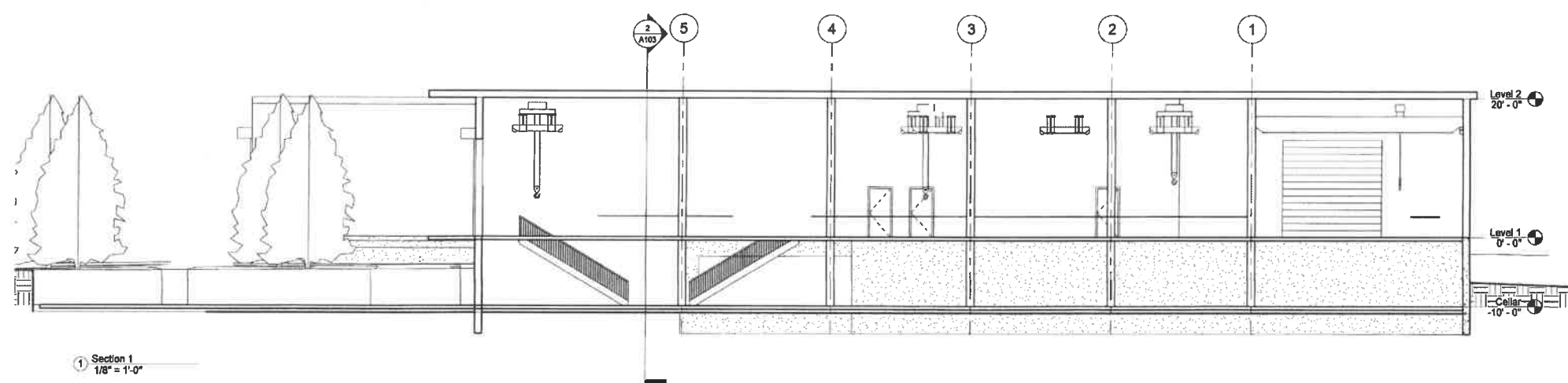
1  
A103

2  
A103

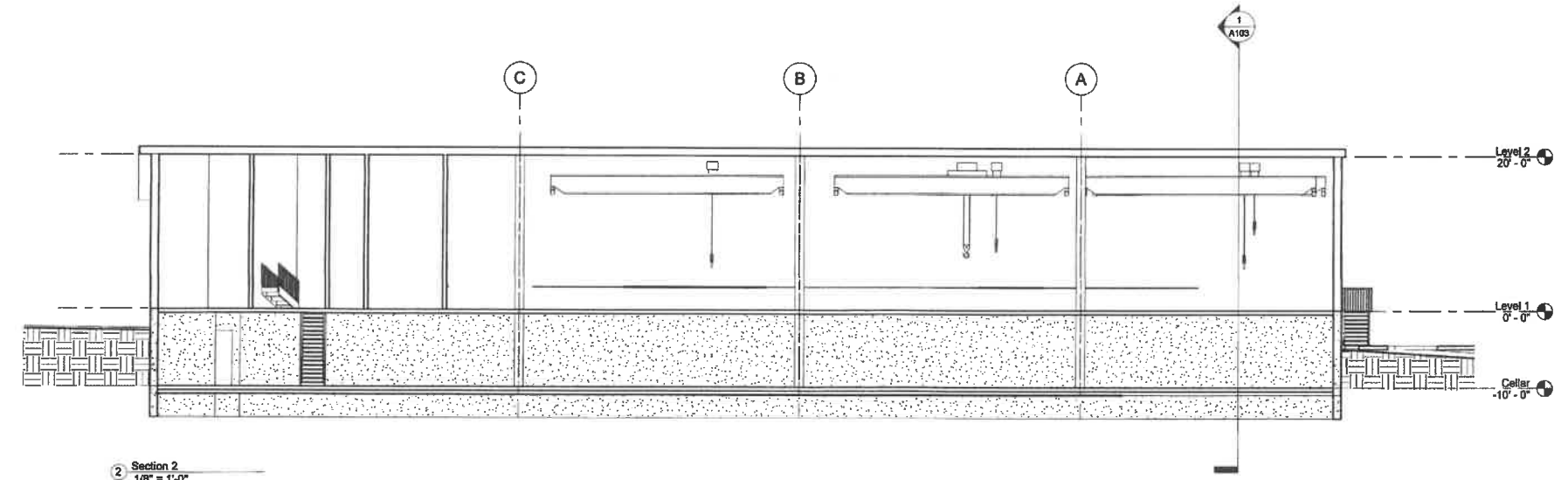
Section 3  
1/4" = 1'-0"

MP  
MELTING POINT  
WELDING & FABRICATION

MP  
MELTING POINT  
WELDING & FABRICATION



1 Section 1  
1/8" = 1'-0"



2 Section 2  
1/8" = 1'-0"

no.	description	date
22_0127		
22_0411		

These drawings are instruments of service only for use in this project. Dimensions and existing conditions must be field verified by contractor with understanding that any discrepancies will be submitted as written notices to the architect.

consultants:

Initial Studies

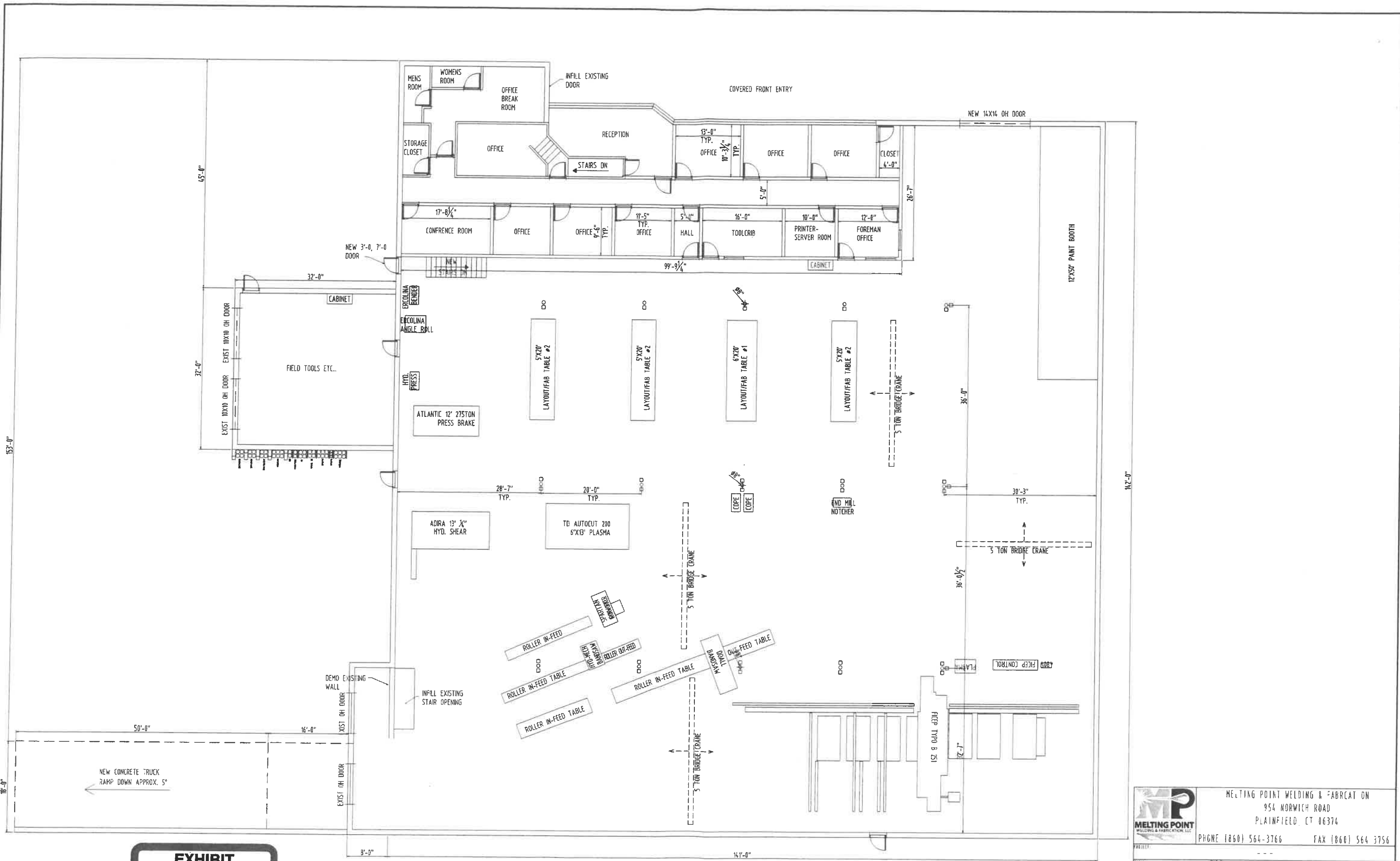
543 Wauregan Rd.  
Killingly, CT

project  
Melting Point  
Welding & Fabrication  
Shop




648 rte 108  
woodstock valley, ct  
06202  
718 383 8909  
917 846 3468 c  
design@meltingpoint.com

A-103.00



FIRST FLOOR

tabbles  
**EXHIBIT**  
**3**

		MELTING POINT WELDING & FABRICAT ON 954 NORWICH ROAD PLAINFIELD, CT 06374 PHONE (860) 564-3766 FAX (860) 564 3756	
PROJECT: ---		TITLE: NEW SHOP LAYOUT	
PART: ASTM A36 UNO		FILE: 543 WAJREGAN RD	
SER: SERIES e70XX		DANIELSON, CT	
AS NOTED		DATE: 2021-001	
SEE FINISH NOTE		DRAWN BY: BNC	CHECKED BY: FNB
		DATE: 2021-001	SCALE: 24x36

Records contained in the Town of Killingly's GIS mapping system show the subject properties contains non-hydric soils. The below map shows other properties with water features in this area, but which are not the subject of this application.



tabbles  
**EXHIBIT**  
**6**



This map provides the addresses of abutting properties and names of the owners thereof as they appear in the Town of Killingly's records. Note, the applicant relies upon the Town's records and has not performed an independent title search of these abutting properties.

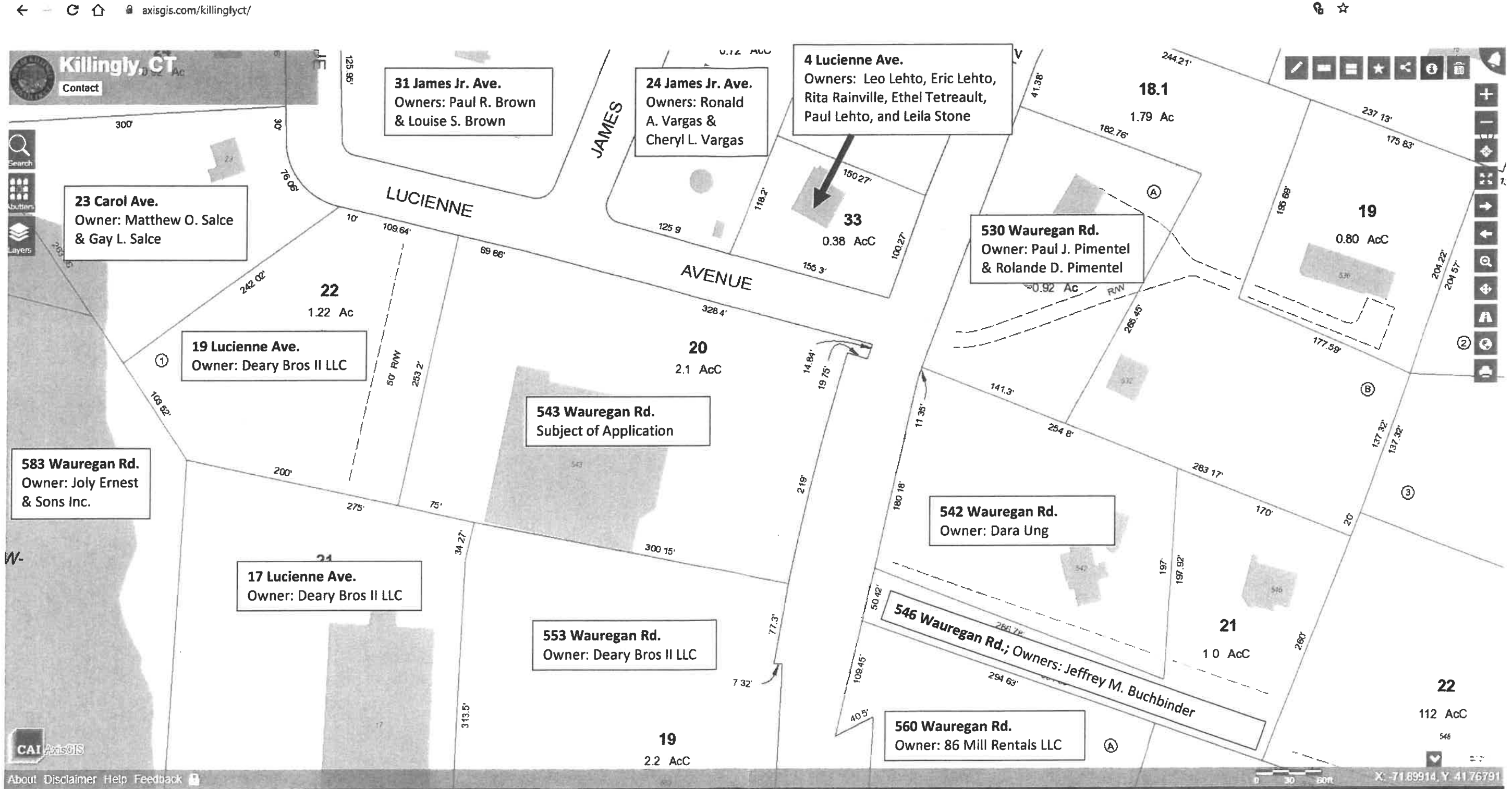


EXHIBIT  
7