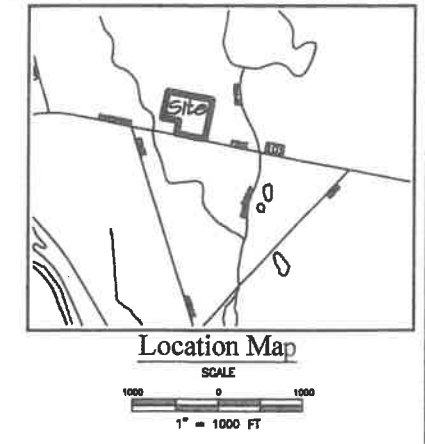


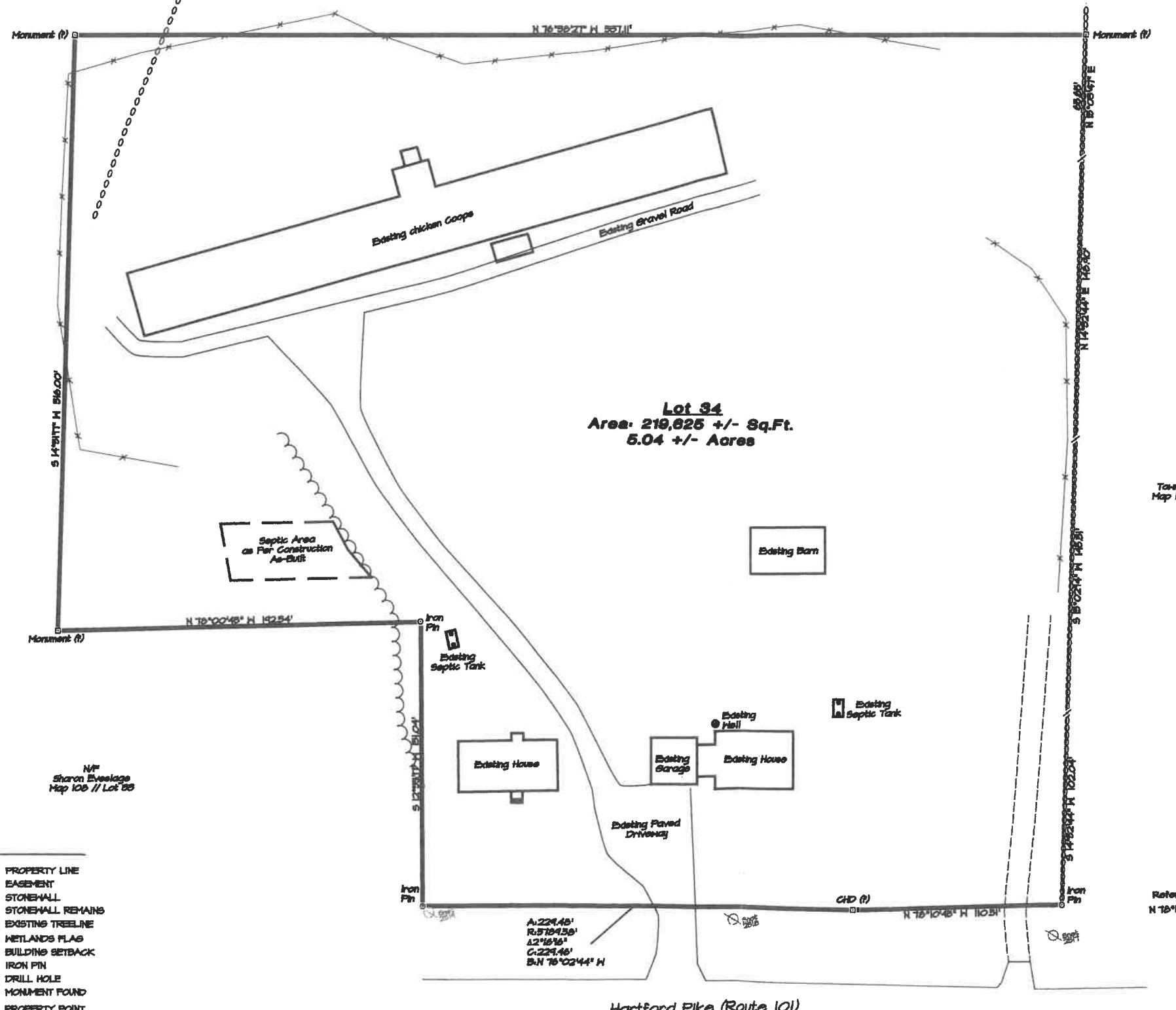
Special Permit Application #20-1233



N/T
Town of Killingly
Map 107 // Lot 46

N/T
Town of Killingly
Map 107 // Lot 46

N/T
Town of Killingly
Map 107 // Lot 46



Notes

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - This Survey conforms to a Class "A-2" Horizontal Accuracy
 - Survey Type: Perimeter Survey
 - Boundary Determination: Resurvey
 - Intent: Depict Existing Conditions with Respect to Property Lines
- Parcels shown as 34 on Assessors Tax Map 108 of the Killingly Assessors Office

Map References

- Property of Norwich Roman Catholic Diocesan Corp., Hartford Providence Road, Town of Killingly, Connecticut, Scale: 1"=100', Date: Sept. 1988, Prepared by Vincent Yarnone
- Connecticut State Highway Department, Town of Killingly, Hartford-Providence Road from the G/Inebaug River easterly to the Rogers Road, Route 101, Project No. 68-08, Sheet 2A

Reference Line Only
N 74°54'45" W 171.75'

N/T
Sharon Eveslage
Map 108 // Lot 28

Reference Line Only
N 78°10'48" W 144.74'

To My Knowledge and Belief this Map is substantially Correct as noted hereon.

Paul M. Archer LLS #10018 Date _____

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

LEGEND

- PROPERTY LINE
- EASEMENT
- STONEWALL
- STONEWALL REMAINS
- ~~~~~ EXISTING TREELINE
- # WETLANDS FLAG
- — — BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- MONUMENT FOUND
- PROPERTY POINT
- UTILITY POLE

Perimeter Survey

Prepared For:
Pine Hill Farm LLC
204 Hartford Road (Route 101)
Killingly, Connecticut

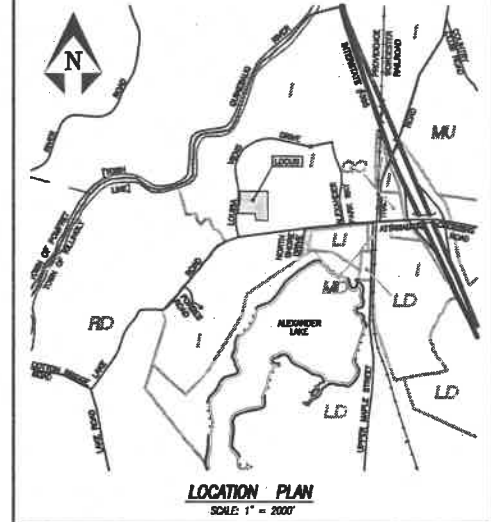
DRAWING SCALE: 1"=30'



REVISIONS	

Sheet No. 1 of 1 Project No. 1685 Date: June 13, 2019

SITE PLAN
APPLICATION
20-1237



GC = GENERAL COMMERCIAL
I = INDUSTRIAL
LD = LOW DENSITY
LI = LIGHT INDUSTRIAL
MD = MEDIUM DENSITY
MU = MIXED USE INTERCHANGE
RD = RURAL DEVELOPMENT

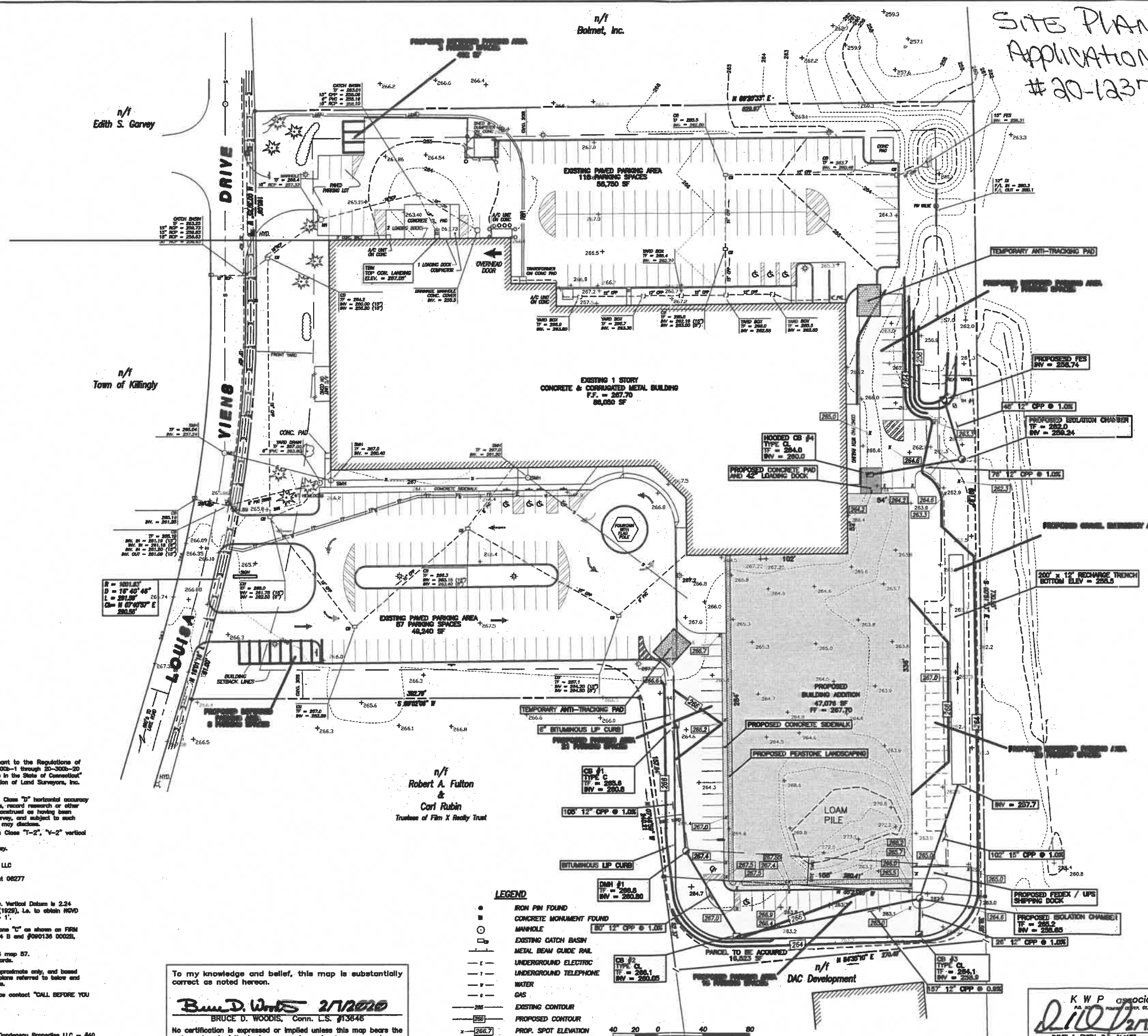
TABLE OF ZONING REQUIREMENTS

Lot Size	ZONE = I (Industrial)	
	REQUIRED	PROVIDED
50,000 SF	9.09 AC (395,823 SF)	
Minimum Frontage	150'	517'
Front Yard Setback	50'	84'
Side Yard Setback	25'	60' (Addition)
Rear Yard Setback	30'	60' (Addition)
Maximum Building Height	50'	68' (Addition)
Maximum Impervious Area	70%	69%

EXISTING
205 EXISTING PARKING SPACES
182 REQUIRED PARKING SPACES 2011 APPROVAL
23 EXTRA PARKING SPACES AVAILABLE

PROPOSED 47,078 SF ADDITION
16 PARKING SPACES REQUIRED FOR OFFICE SPACE
89 PARKING SPACES REQUIRED FOR MANUFACTURING SPACE
103 TOTAL NEW PARKING SPACES REQUIRED
123 EXTRA PARKING SPACES AVAILABLE
80 NEW REQUIRED PARKING SPACES

LOT COVERAGE
48% EXISTING LOT COVERAGE
69% IMPERVIOUS COVERAGE (275,040 SF) WITH NEW ADDITION AND PARKING



n/f
Robert A. Fulton
&
Carl Rubin
Trustees of Film X Realty Trust

- LEGEND**
- IRON PIN FOUND
 - CONCRETE MONUMENT FOUND
 - MANHOLE
 - EXISTING CATCH BASIN
 - METAL BEAM GUIDE RAIL
 - - - UNDERGROUND ELECTRIC
 - - - UNDERGROUND TELEPHONE
 - - - WATER
 - - - GAS
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - x PROP. SPOT ELEVATION



To my knowledge and belief, this map is substantially correct as noted hereon.

Bruce D. Woods 2/7/2020
BRUCE D. WOODS, Conn. L.S. #13848

No certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

- NOTES**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1999;
 - Boundary lines shown conform to a Class "T" horizontal accuracy and were compiled from other maps, record research or other sources of information, not to be construed as having been obtained as the result of a field survey, and subject to such change as an accurate field survey may disclose.
 - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
 - Survey Type: General Location Survey.
 - Owner/Applicant: Dandeneau Properties LLC
P.O. Box 159
Thompson, Connecticut 06277
 - Zone = I
 - Elevations taken from actual field survey. Vertical Datum is 2.24 below National Geodetic Vertical Datum (1929). L.A. to obtain NGVD elevations, add 2.24'. Contour Interval = 1'.
 - Lot shown is located in Flood Hazard Zone "C" as shown on FIRM Flood Insurance Rate Map #060136 0004 B and #090136 0002S, Effective Date January 3, 1995.
 - Parcel shown is Lot 12 on Killingly GIS map 57.
See Vol. 918 Page 353 of the land records.
 - Locations of underground utilities are approximate only, and based upon the proposed locations shown on plans referred to below and information furnished by utility companies.
 - Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-622-4455.

- MAP REFERENCES**
- "Site Development Plan - Prepared for Dandeneau Properties LLC - #40 Louisa Viens Drive - Killingly, Connecticut - Scale 1" = 40' - Date May 10, 2006 - Revised to August 15, 2006 - Prepared by KWP Associates.

Grading and Utility Plan
Prepared For
DANDENEAU PROPERTIES LLC
#40 LOUISA VIENS DRIVE
KILLINGLY, CONNECTICUT

KWP associates
SURVEYING - ENGINEERING - SITE PLANNING
250 Killingly Road
Pondret Center, Ct. 06259-0106

SCALE: 1" = 40'
DATE: 2/7/2020
SHEET: 1 OF 2
PLOT # 88124 FB.
DATE: JES CMC

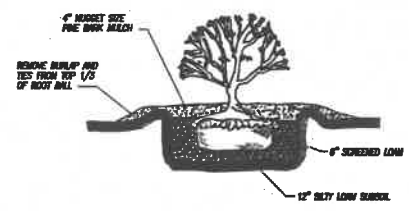
KWP associates
David A. Smith
DAVID A. SMITH, P.E. #14173
107 WILD HOLLOW RD. & SPENCER HILLS

Z:\89\9312\2019 Work\89312\454p-2019.dwg, 2/11/2020 1:59:15 PM, SAVIN 2404WD PS (temporary).pc3

Site Plan Application #20-1237

DEEP TEST HOLE EVALUATION - June 13, 2011
KWP Associates

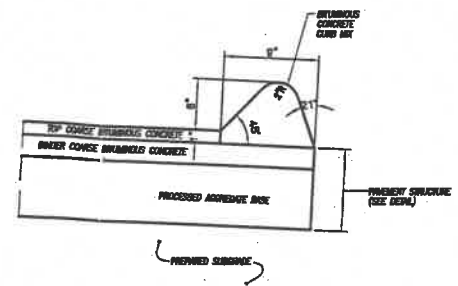
TEST NO.	DEPTH	PERKLE
1	0' - 6"	Topsoil
	6" - 12"	Silty Sand
2	12" - 18"	Coarse Sand, Little Gravel
	18" - 24"	Topsoil
3	0' - 6"	Topsoil
	6" - 12"	Silty Sand, Little Gravel
4	12" - 18"	Coarse Sand and Gravel
	18" - 24"	Topsoil
5	0' - 6"	Topsoil
	6" - 12"	Coarse Sand, Stone Gravel
6	12" - 18"	Coarse Gray Sand
	18" - 24"	Monitoring Well Set at 12"



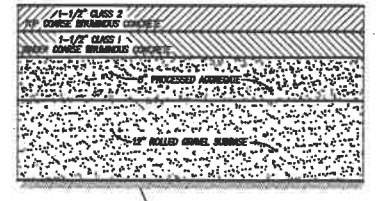
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



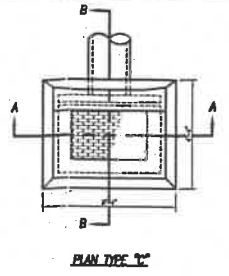
HANDICAPPED SIGN DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE LIP CURBING DETAIL
NOT TO SCALE

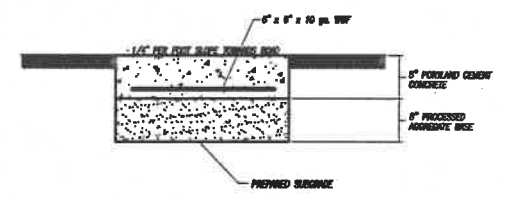


PAVEMENT DETAIL
NOT TO SCALE



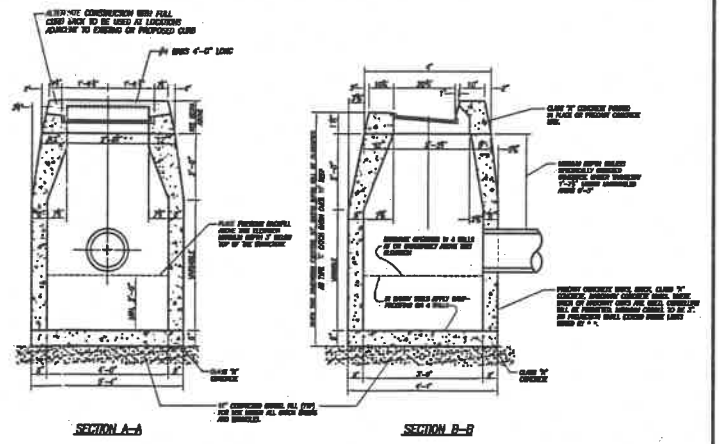
PLAN DETAIL

NOTE: WHEN COUCH BASIN IS SET IN CONCRETE FURNISH THE 1/2\"/>



SECTION THRU CONCRETE SIDEWALK
NOT TO SCALE

NOTES: 1. EXPANSION JOINT EVERY 30'
2. TOOLED JOINT EVERY 10'

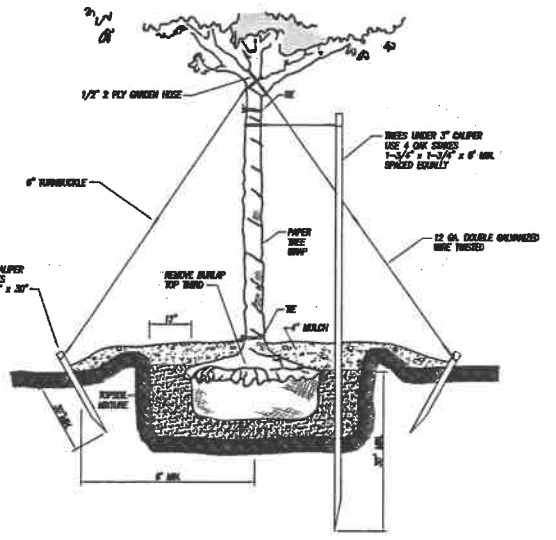


TYPE 'C' CATCH BASIN DETAIL
NOT TO SCALE

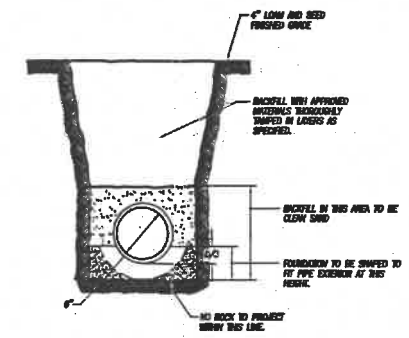
NOTE: 1. COUCH BASIN TOP SHALL CONFORM TO THE STYLE OF CURB
2. SIMI FRAME TO GRACE OF ROAD WHICH GUIDE > 4'

EROSION & SEDIMENTATION NOTES AND SEQUENCE OF OPERATIONS

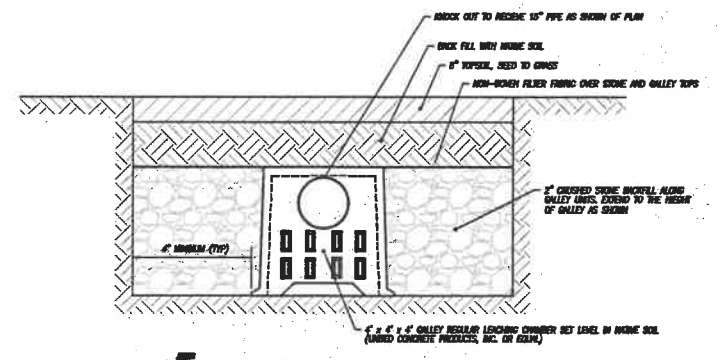
- The proposed activity consists of the construction of a building addition, appurtenant driveway and parking area and storm water remediation and detention basin.
- Prior to any construction, excavation or filling, all improvements shall be accurately staked in the field by a land surveyor registered in the State of Connecticut.
- After field staking all erosion sedimentation control devices as shown on the plan and as detailed shall be installed. Properly installed haybales may be used in lieu of silt fence.
- All trees and brush within the areas of disturbance shall be removed. All limbs and saplings less than 4" in caliper shall be chipped and stockpiled for later reuse as slope stabilization and mulch material. All trees in excess of 4" in caliper shall be removed from the site and disposed of in a manner consistent with State, Federal, and local regulations. Stumps shall be excavated from the area of disturbance and likewise disposed of in a manner consistent with all applicable laws.
- Final grades shall be achieved as quickly as possible, and immediately thereafter, slopes shall be stabilized with 4" of topsoil. The area shall be seeded and mulched with straw mulch in accordance with the specifications contained herein.
- All erosion and sedimentation control measures shall be constructed in accordance with standards and specifications of the "Erosion and Sedimentation Control Handbook", U.S. Dept. of Agriculture, Soil Conservation Service.
- All control measures shall be maintained in effective conditions throughout the construction period and shall be inspected periodically but not less than once per month, and after a total rainfall in one storm event of 1 inch in 24 hours. Sediment shall be promptly removed from control structures and disposed of on-site in upland areas outside the buffer zone of wetlands. Any silt fence or hay bales damaged as a result of a storm event or construction activities, shall be immediately repaired.
- The Town of Killingly shall be notified prior to commencement of construction and at key point during construction so that inspections of erosion and sedimentation control measures can be scheduled.
- The responsibility for implementation of this plan shall rest with the Contractor, Parnham Planning Corp., 130 Linton Way West, Danville, VT, 05251. Telephone: (802) 882-0254.



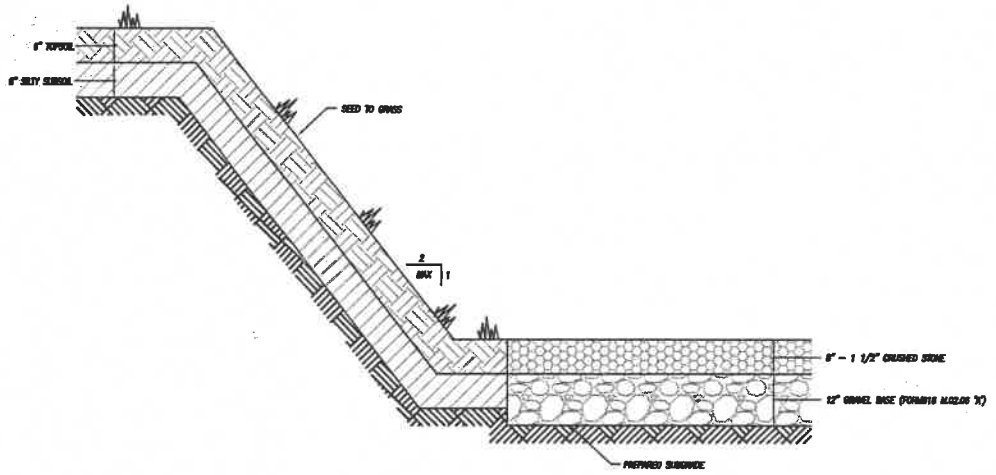
TYPICAL TREE PLANTING DETAIL
NOT TO SCALE



PIPE IN TRENCH DETAIL
NOT TO SCALE



RECHARGE GALLERIES DETAIL
NOT TO SCALE



TYPICAL SECTION DETENTION BASIN
NOT TO SCALE

UPON ACHIEVEMENT OF FINAL GRADES, 4" OF TOPSOIL SHALL BE SPREAD AND SEEDING WITH FOLLOWING MIX:

SEED	LBS./1000 S.F.
CHEERING RED FESCUE	0.45
REDFEST	0.05
PERENNIAL RYEGRASS	0.30
HEALTHY BLUEGRASS	0.15
TOTAL:	0.95

AFTER SEEDING IS COMPLETE, SPREAD MULCH AT THE RATE OF 1 BURLAP/200 S.F.

11. Schedule of construction activities:

Activity	Start - End
Site Work	Apr 1 - 15
Foundation and Footings	Apr 15 - Oct 1
Roofing and Siding	Apr 1 - 15
Interior Work	Apr 1 - 15
Landscaping	Apr 1 - 15

Detail Sheet
Prepared For

DANDENEAU PROPERTIES LLC

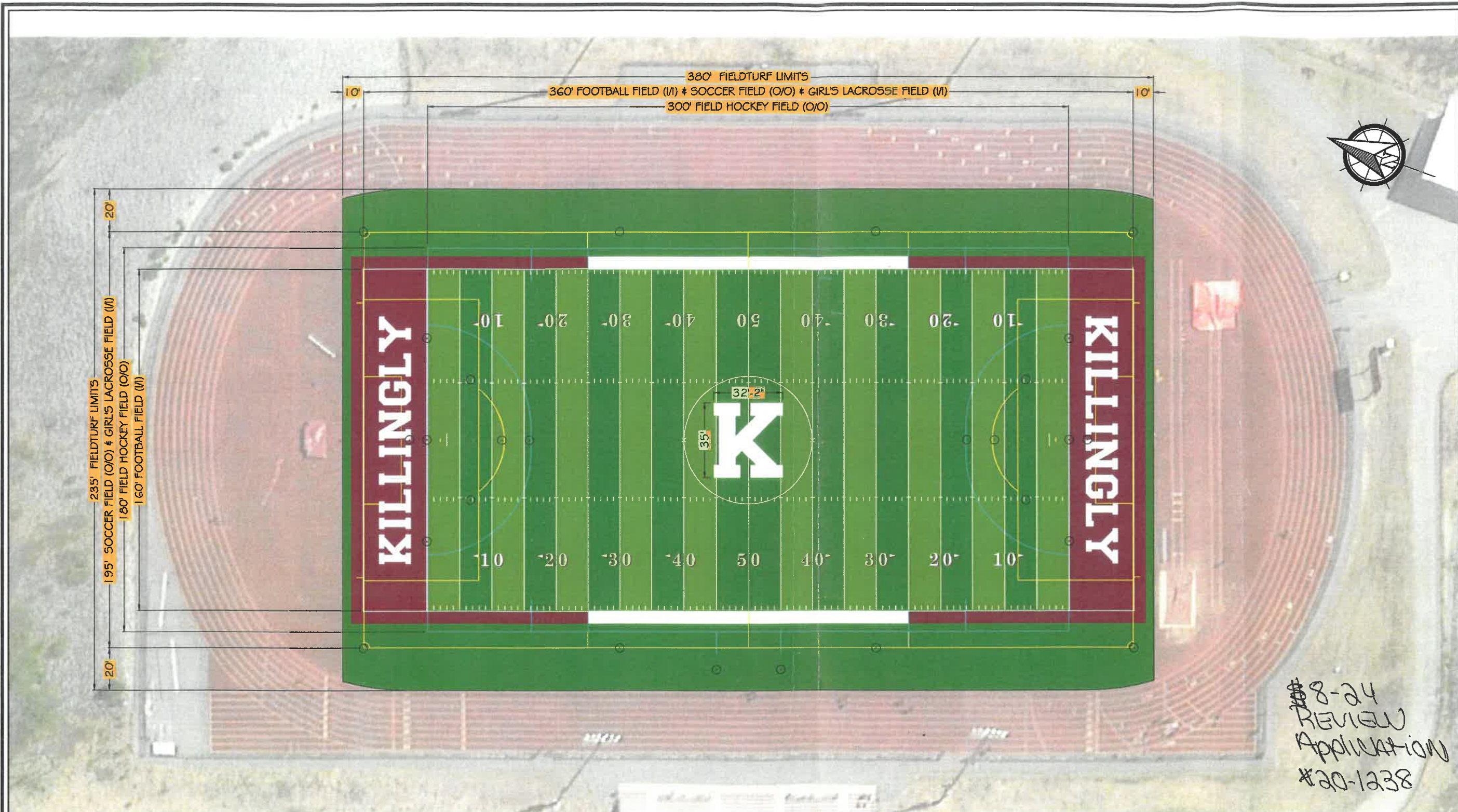
#40 LOUISA VIENS DRIVE
KILLINGLY, CONNECTICUT

KWP associates
SURVEYING - ENGINEERING - SITE PLANNING

250 Killingly Road
Pondret Center, CT 06259-0106

SCALE: AS NOTED
DATE: 2/7/2020
SHEET: 2 OF 2
REV: 08/12/14
Dwg: JES
Chk:

Z:\8918912\1\2019 Wch\8912\dep-2019.dwg, 2/7/11/2020 1:58:43 PM, SAVIN, 2:04:00 PM (temporary).pc3



235' FIELDTURF LIMITS
 195' SOCCER FIELD (O/O) # GIRL'S LACROSSE FIELD (I/I)
 180' FIELD HOCKEY FIELD (O/O)
 160' FOOTBALL FIELD (I/I)

380' FIELDTURF LIMITS
 360' FOOTBALL FIELD (I/I) # SOCCER FIELD (O/O) # GIRL'S LACROSSE FIELD (I/I)
 300' FIELD HOCKEY FIELD (O/O)



#8-24
 REVIEW
 APPLICATION
 #20-1238

APPROVED BY: _____

SIGNATURE: _____

PRINTED NAME: _____

TITLE: _____

DATE: _____

SPORT COLORS:

FOOTBALL
 COMPLETE COLOR NAME: WHITE
 PANTONE COLOR NUMBER: WHITE

SOCCER
 COMPLETE COLOR NAME: CANARY YELLOW
 PANTONE COLOR NUMBER: 136C

GIRL'S LACROSSE TICK MARKS
 COMPLETE COLOR NAME: BLACK
 PANTONE COLOR NUMBER: BLACK

FIELD HOCKEY
 COMPLETE COLOR NAME: LAGOON BLUE
 PANTONE COLOR NUMBER: 292C

LOGO COLORS:

COMPLETE COLOR NAME: WHITE
 PANTONE COLOR NUMBER: WHITE

END ZONE COLOR:

COMPLETE COLOR NAME: MAROON
 PANTONE COLOR NUMBER: 188C

LEGEND:

FIELD GREEN / SUMMER GREEN
 FIELDTURF
 89,112 sq. ft.

FIELD LAYOUT NOTES (sports are in order of dominance):

1. FOOTBALL MARKINGS ARE 4" WHITE NFHS STANDARDS.
2. SOCCER MARKINGS ARE 4" CANARY YELLOW NFHS STANDARDS.
3. GIRL'S LACROSSE TICK MARKS MARKINGS ARE 4" BLACK NFHS STANDARDS.
4. FIELD HOCKEY MARKINGS ARE 4" LAGOON BLUE NFHS STANDARDS.

FIELD DOMINANCY IS ONLY WITHIN THE FOOTBALL FIELD OF PLAY.

COLOR DASHED CIRCLES ARE TO INDICATE PLACEMENT OF THE 4" X 4" INLAID TICK MARKS.

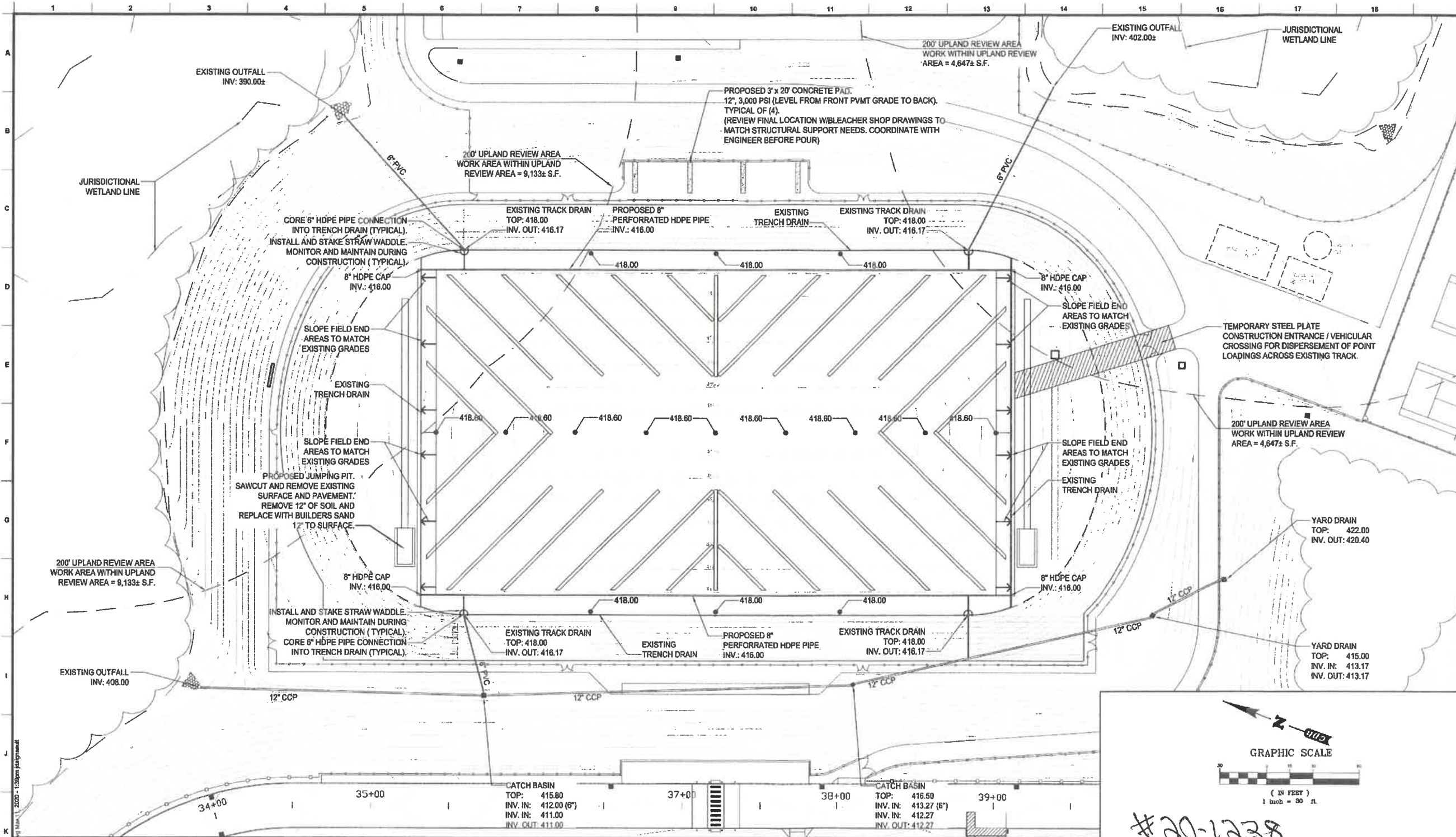
ALL DIMENSIONS TO BE VERIFIED BEFORE ANY CONSTRUCTION BEGINS.

NFHS STANDARDS

DRAWN BY:	J. L.
CHECKED BY:	J. B.
SCALE:	1"=45'
TOTAL FIELD AREA:	89,112 sq. ft.
PERIMETER:	1214 ft.



KILLINGLY HIGH SCHOOL
DAYVILLE, CT



cph
www.cphcorp.com
**A Full Service
A & E Firm**

Architects
Engineers
Environmental
Landscape Architects
Planners
Surveyors

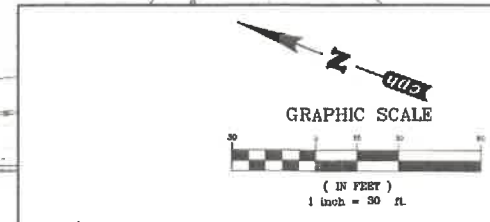
Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas



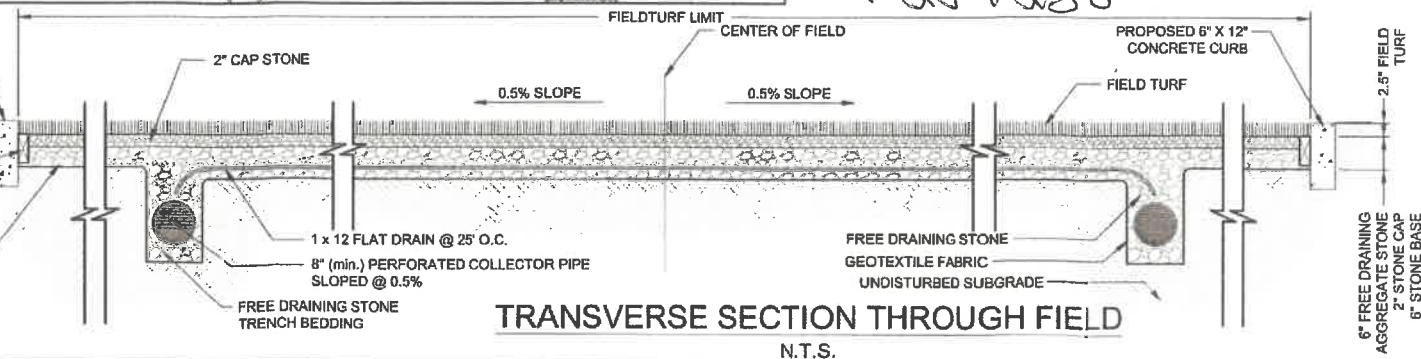
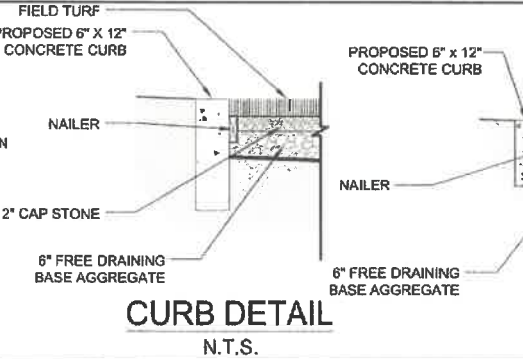
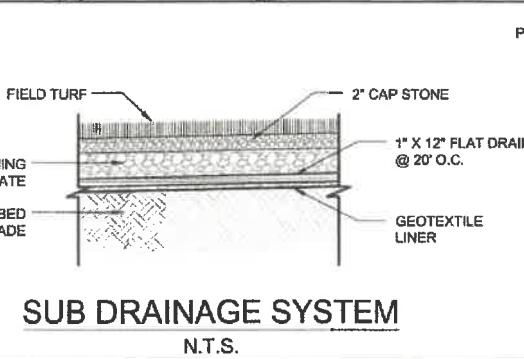
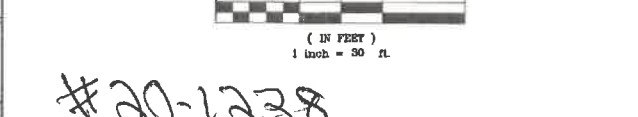
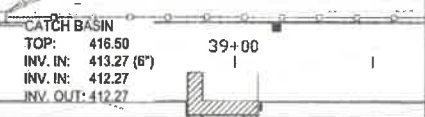
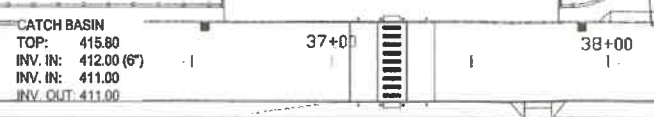
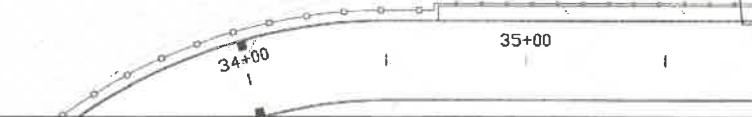
Revision	By	Date
	SEJ	

Designed by:	A.R.C.
Drawn by: <td>J.L.D.</td>	J.L.D.
Checked by: <td>A.R.C.</td>	A.R.C.
Approved by: <td>A.R.C.</td>	A.R.C.
Scale: <td>1" = 30'</td>	1" = 30'
Date: <td>10/21/20</td>	10/21/20
Job No.: <td>26552.ARC</td>	26552.ARC
© <td>2020</td>	2020

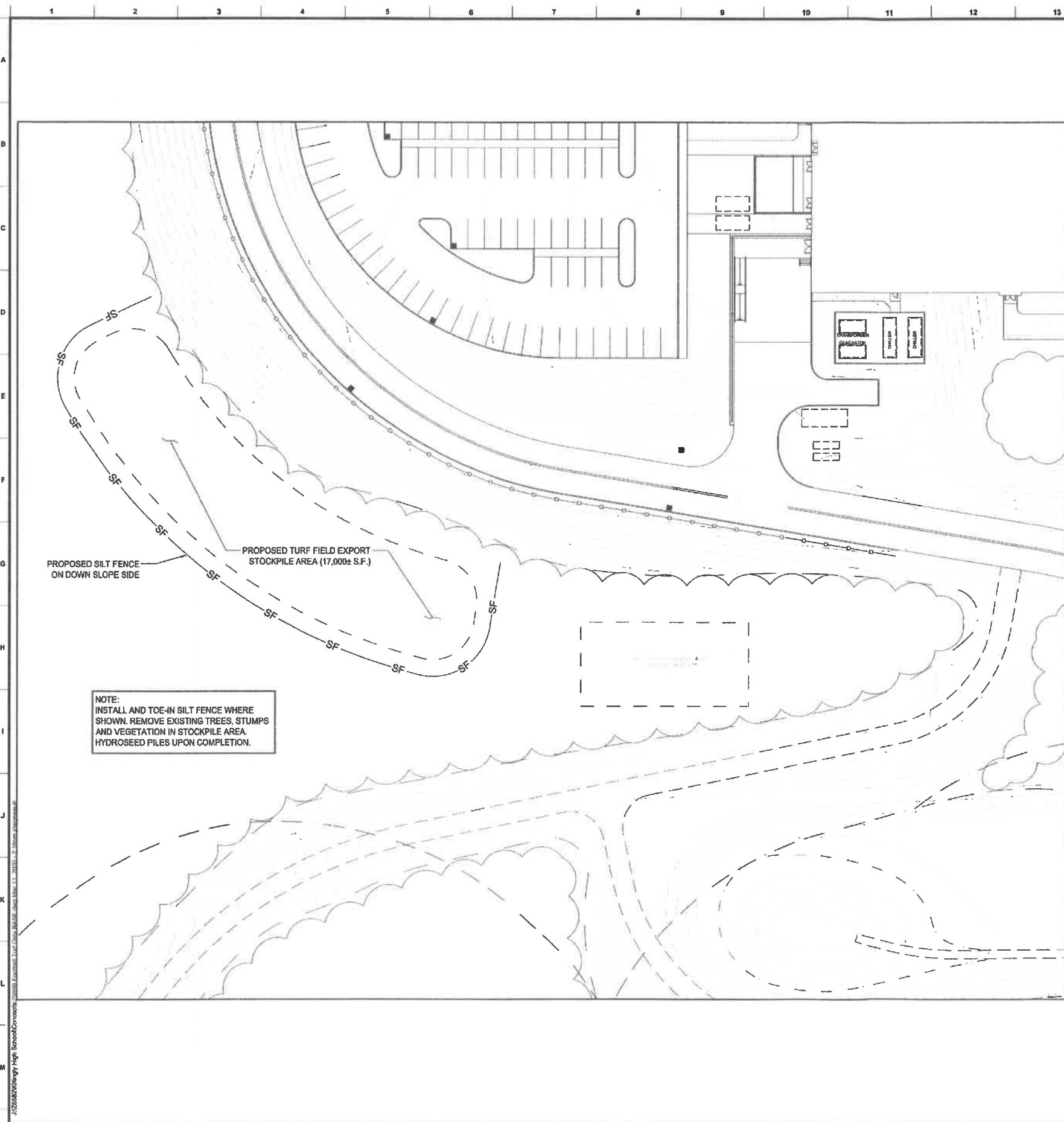
Plan Prepared by:
CPH Design, Inc.
650 North Main Street
Suite 8
Attleboro, MA 02703
Ph: 508.658.7020
License:
P.E.C. 2001045
L.S.C. 9000556



#20-1238



**PROPOSED FIELD TURF AND
STORM DRAINAGE PLAN AND DETAILS**
PROPOSED SITE IMPROVEMENTS
KILLINGLY HIGH SCHOOL
KILLINGLY, CT
Sheet No.
C-1



EROSION & SEDIMENTATION CONTROL NOTES

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH TOWN OF KILLINGLY ORDINANCE AND CTDEEP EROSION AND SEDIMENTATION CONTROL GUIDELINES.

CONTENTS OF THESE NOTES:

A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN CASE DUST SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

B. AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.

C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THE WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE SPECIFIC DUST CONTROL FENCES IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL FOR A SILT FENCE EXCEPT THE MINIMUM HEIGHT SHALL BE 4 FEET.

IN ADDITION TO THOSE RESPONSIBILITIES OUTLINED WITHIN THE CONSTRUCTION PLANS AND DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING MEASURES:

A. PROJECT SCHEDULE WITH EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE TIED TO SPECIFIC DATES OR CONSTRUCTION ACTIVITIES.

B. ALTERATIONS TO THE DESIGN EROSION AND SEDIMENT CONTROL DUE TO DIFFERENCES BETWEEN THE DESIGN PLANS AND ANTICIPATED CONSTRUCTION PRACTICE AND THE CONTRACTOR'S CONSTRUCTION METHOD.

C. NAME AND PHONE NUMBER OF CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS.

D. THE CONTRACTOR WILL FURNISH, INSTALL, MAINTAIN AND SUBSEQUENTLY REMOVE, ALL NECESSARY EROSION CONTROL. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT EROSION CONTROL.

E. THE DEVELOPMENT OF THE APPLICABLE BMP'S TO ENSURE THE CONTROL OF OFF-SITE TRACKING APPLIANCE, SANITARY WASTE, FERTILIZERS A PESTICIDES, SOLID WASTE, AND OTHER HAZARDOUS WASTE. WHEN THE CONTRACTOR ENCOUNTERS A SPILL, CONSTRUCTION WILL STOP AND WORK WILL NOT RESUME UNTIL DIRECTED BY THE PROJECT ENGINEER. DISPOSITION OF HAZARDOUS WASTE WILL BE MADE IN ACCORDANCE WITH ANY REQUIREMENTS AND REGULATIONS OF ANY LOCAL, STATE, OR FEDERAL AGENCY HAVING JURISDICTION.

F. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROL AT LOCATIONS DETERMINED BY THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF SILTING ANY ADJACENT LAND PARS, OR RECEIVING WATER.

GENERAL EROSION CONTROL:

A. CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MANAGE UNPROTECTED EXPOSED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. CLEARED SITE DEVELOPMENT AREAS WHICH WILL REMAIN AT ROUGH GRADE FOR 30 DAYS OR MORE SHOULD BE STABILIZED IMMEDIATELY BY COVERING WITH ADEQUATE AMOUNTS OF PINE, OATS SEEDS AND PERIODICALLY WATERED SUFFICIENT TO STABILIZE THE TEMPORARY GRASSCOVER, OR BY THE USE OF AN APPROPRIATE ALTERNATIVE BMP.

B. EXCAVATED MATERIAL WILL NOT BE DEPOSITED IN LOCATIONS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORM WATER RUNOFF. STOCKPILED MATERIAL SHALL BE COVERED OR ENCLOSED WITH SEDIMENT CONTAINMENT DEVICES.

C. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. CLEARED SITE DEVELOPMENT AREAS WHICH WILL REMAIN AT ROUGH GRADE FOR 30 DAYS OR MORE SHOULD BE STABILIZED IMMEDIATELY BY COVERING WITH ADEQUATE AMOUNTS OF PINE, OATS SEEDS AND PERIODICALLY WATERED SUFFICIENT TO STABILIZE THE TEMPORARY GRASSCOVER, OR BY THE USE OF AN APPROPRIATE ALTERNATIVE BMP.

D. ALL GRASS SLOPES CONSTRUCTED STEEPER THAN 4V:1H SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.

E. MEASURES REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM CENTRAL A LINE OR SWALE. A TEMPORARY SEDIMENT BUMP SHALL BE CONSTRUCTED. THE TEMPORARY SEDIMENT BUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE BUMP.

F. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING, WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.

PROTECTION OF SURFACE WATERS:

A. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SHARPS SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.

B. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.

2. NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION. PERIMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED.

C. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM DRAINING TO DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD GRIDS OR SET SEEDS AROUND AND SEDIMENT BUMPS WITHIN SUCH AREAS AS REQUIRED TO CONTAIN SPLITS OF OIL, GREASE, LUBRICANTS, OR OTHER CONTAMINANTS. CONTRACTORS SHALL HAVE AVAILABLE AND SHALL USE APPROPRIATE FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE.

MAINTENANCE:

MANY CHANGES OF EROSION CONTROL DEVICES IS OF PARAMOUNT IMPORTANCE TO TOWN OF KILLINGLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL POLLUTION PREVENTION CONTROLS. DAILY REVIEW SHALL BE MADE BY THE CONTRACTOR TO DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF EROSION, SEDIMENTATION, TURBIDITY, AND POLLUTION CONTROL MEASURES. CORRECTIVE ACTION SHALL BE PERFORMED IMMEDIATELY. THE CONTRACTOR WILL COMPLETE A REPORT DETAILING MEASURES THAT ARE NOT ACHIEVING PERMIT COMPLIANCE AND THE CORRECTIVE ACTION THAT IS TAKEN. UNLESS OTHERWISE SPECIFIED, ACCUMULATED SEDIMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE-HALF OF THE CAPACITY OF THE CONTROL DEVICE.

INSPECTION:

THE CONTRACTOR IS REQUIRED TO INSPECT AND MAINTAIN CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL IN EXCESS OF .25 INCHES. THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND CONTRACTOR AND MAINTAINED FOR FUTURE REFERENCE AS NEEDED.

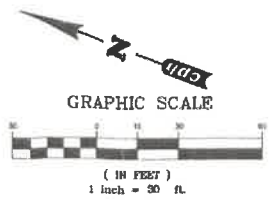
THE INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION.

EXEMPTIONS:

THE CONSTRUCTION PLANS AND SPECIFICATIONS FOR JOB #2682 ARC AS PREPARED BY CPH, INC.

ACREAGE SUMMARY	
TOTAL PROJECT AREA	2.43 AC.
ON-SITE DISTURBED AREA	2.43 AC.
TOTAL DISTURBED AREA	2.43 AC.

NOTE: CONTRACTOR SHALL PAY CLOSE ATTENTION WHEN CLEARING AND/OR GRADING THE SITE TO ENSURE THAT WHEN EXISTING ROOTS ARE ENCOUNTERED THEY ARE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING THE DAMAGE OF THE EXISTING ROOT SYSTEMS.



cph
www.cphcorp.com
A Full Service A & E Firm

Architects
Engineers
Environmental
Landscape Architects
Planners
Surveyors

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

ALAN R. CARPENTER, P.E.
REG. # 24258

By	SEJ	Revision	Date	No.

Designed by: A.R.C.
Drawn by: J.L.D.
Checked by: A.R.C.
Approved by: A.R.C.
Scale: 1" = 30'
Date: 02/13/20
Job No.: Z6852-ARC
© 2010

Plans Prepared By:
CPH Design, Inc.
550 North Main Street
Suite 6
Athol, MA 02743
Ph: 508.629.7320
License: P.E.C.0001045
L.S.C.0005038

PROPOSED TURF FIELD STOCKPILE AND EROSION CONTROL PLAN AND NOTES

PROPOSED SITE IMPROVEMENTS
KILLINGLY HIGH SCHOOL
KILLINGLY, CT

Sheet No. **C-2**

20-1238